



DEPARTMENT OF CITY PLANNING APPEAL RECOMMENDATION REPORT

South Los Angeles Area Planning Commission

Date: August 3, 2021
Time: After 4:30 p.m.*
Place: In conformance with the Governor's Executive Order N-29-20 (March 17, 2020) and due to concerns over COVID-19, the CPC meeting will be conducted entirely telephonically by Zoom [<https://zoom.us/>].

The meeting's telephone number and access code access number will be provided no later than 72 hours before the meeting on the meeting agenda published at <https://planning.lacity.org/about/commissions-boards-hearings> and/or by contacting cpc@lacity.org

Public Hearing: Required
Appeal Status: Not Further Appealable
Expiration Date: N/A

PROJECT LOCATION: 2034 – 2036 South Curson Avenue

PROPOSED PROJECT: The proposed project is to subdivide one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot homes with 4 covered on-site parking spaces in the RD2-1 zone.

APPEAL ACTION:

1. Appeal of the project's environmental clearance determining that based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to CEQA Guidelines Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies
2. Appeal of the Advisory Agency's decision to approve a Preliminary Parcel Map Approval to subdivide one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot single family dwellings in the RD2-1 zone.

Case No.: AA-2020-6489-PMLA-SL-1A
CEQA No.: ENV-2020-6490-CE
Incidental Cases: ADM-2020-6491-SLD
Related Cases:
Council No.: 10 – Mark Ridley Thomas
Plan Area: West Adams - Baldwin Hills – Leimert
Specific Plan: None
Certified NC: Mid City
GPLU: Low Medium II Residential RD2-1
Zone: RD2-1
Applicant/Owner: Michael Nikraves, Kristina Kropp, Luna & Glushon
Representative:
Appellants: Alfredo Mercado, Curson Avenue Neighbors

RECOMMENDED ACTIONS:

1. **Determine** that based on the whole of the administrative record, the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;
2. **Deny** the appeal filed by Alfredo Mercado and the Curson Avenue Neighbors and **SUSTAIN** the decision of the Advisory Agency's decision to approve a Preliminary Parcel Map Approval to subdivide one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot single family dwellings in the RD2-1 zone;
3. **Adopt** the attached Findings; and
4. **Adopt** the attached Conditions of Approval.

VINCENT P. BERTONI, AICP
Director of Planning



Faisal Roble,
Principle City Planner



Sergio Ibarra,
City Planner



Michelle Singh,
Senior City Planner



Rafael Fontes,
Planning Assistant

ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the City Planning Commission Secretariat, 200 North Spring Street, Room 272, Los Angeles, CA 90012 (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to this programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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- Appeal Analysis
- Conclusion

Exhibits:

- Exhibit A – Project Plans
- Exhibit B – Letter of Determination for AA-2020-6489-PMLA-SL
- Exhibit C – Appeal Application
- Exhibit D – Appeal Justification
- Exhibit E – CEQA Clearance (ENV-2020-6490-CE)
- Exhibit F – Radius and Vicinity Maps
- Exhibit G – Public Correspondence
- Exhibit H – Mailing List
- Exhibit I – Small Lot Design Standards (ADM-2020-6491-SLD)

PROJECT ANALYSIS

PROJECT SUMMARY

The proposed project is to subdivide one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot homes with 4 covered on-site parking spaces in the RD2-1 zone.

APPEAL SCOPE

The appeal, filed by Alfredo Mercado and the Curson Avenue Neighbors, challenges the Advisory Agency's decision to approve a Preliminary Parcel Map to subdivide one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot single family dwellings in the RD2-1 zone.

BACKGROUND

The project site consists of one rectilinear lot totaling approximately 5,175 square feet in area. The site has approximately 45 feet of frontage along the east side of Curson Avenue. The site is zoned RD2-1. The property is currently developed as a single-family residence and is located within the West Adams – Baldwin Hills – Leimert Community Plan, which designates the site for Low Medium II Residential. The proposed project is to subdivide one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot homes with 4 covered on-site parking spaces in the RD2-1 zone.

The two (2) homes will be three-stories with a proposed height of 38 feet 9 inches. Unit A (associated with Parcel 1) will be 1,903 square feet in floor area. Unit B (associated with Parcel 2) will be 1,950 square feet in floor area. The site is developed with a single-family home proposed to be demolished as a part of the project and has not been identified as a historic resource by local or state agencies. The project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register. Further, the project site was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. There are no existing protected or unprotected trees on-site.

SURROUNDING PROPERTIES

Properties adjacent to the north, south and east are zoned RD2-1 and developed with a single- and two-story multi-family dwellings. Properties to the west across Curson Avenue are zoned RD2-1 and are developed with a one and two-story multi-family dwellings.

STREETS

Curson Avenue is designated by the Mobility Plan 2035 as a Local Street – Standard, improved to a width of 50 feet with concrete curb, gutter, and sidewalk.

ENVIRONMENTAL CLEARANCE

The Project application was filed on October 28, 2020, seeking an Advisory Agency approval of a Preliminary Parcel Map. The CEQA clearance, ENV-2020-6490-CE determined that the Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Article 19, Section 15332, Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption applies pursuant to CEQA Guidelines, Section 15300.2 applies.

DECISION AND APPEAL

On April 29, 2021, the Advisory Agency issued a determination to approve a Preliminary Parcel Map Approval to subdivide one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot single family dwellings in the RD2-1 zone.

On May 10, 2021, an appeal was filed by Alfredo Mercado and the Curson Avenue Neighbors.

APPEAL ANALYSIS

0) Correction

Initial Appeal Period:

The appeal end date, on the first page of the letter of determination for case AA-2020-6489-PMLA-SL is listed as May 9, 2021.

Staff Clarification:

May 9, 2021 is a Sunday, and the appeal period end dates must fall on business days. Per convention, staff recognizes that the appeal period end date as moving forward to the next business day, which is Monday, May 10, 2021 in this case. The subject appeal, filed by Alfredo Mercado and the Curson Avenue Neighbors, was transmitted to city planning staff on May 10, and is recognized as complete and valid.

APPEAL (Alfredo Mercado and the Curson Avenue Neighbors)

The following statements are summarized from the appeals submitted by the appellant. The appeal in its entirety is attached for reference (see Exhibit D). The main appeal points raised were related to the following: 1) Small Lot Subdivision Guidelines; 2) Community Plan Compliance Findings; 3) CEQA – eligibility for a Class 32 Categorical Exemption.

1) Small Lot Subdivision Guidelines

Appeal point 1:

“The Project does not meet the Small Lot Subdivision Guidelines. The Project seeks to ‘max out’ the allowable building massing permitted by Code in a manner that is not compatible with the existing neighborhood. The Project fails to meet the following Small Lot Subdivision Guidelines:

- The Project is not context sensitive [*Guidelines*, p. 1];
- The design is not compatible with the existing neighborhood context [*Guidelines*, p. 6];
- The developer has not considered the design elements of the homes and how they will enhance the overall neighborhood character [*Guidelines*, p. 8];
- The characteristics of the Project do not relate to the surrounding built form, respecting the overall neighborhood character and existing topography [*Guidelines*, p. 9];
- The Project is not compatible with the existing neighborhood [*Guidelines*, p. 9];
- The Project seeks to “max out” the allowable building massing permitted by code [*Guidelines*, p. 24];
- The Project maintains an excessive difference in height with the adjacent buildings [*Guidelines*, p. 24];
- The Project is not appropriately designed and scaled to transition from the single-family properties surrounding it [*Guidelines*, p. 24];

- The Project does not provide functional distances between building walls and vary height to maximize private outdoor space, light and views [*Guidelines*, p. 32]; and
- The Project does not use environmentally-sound principles, helping to mitigate the Project's impacts on the surrounding neighborhood [*Guidelines*, p. 33]."

Staff Response 1:

The appellant failed to provide substantive evidence to support its assertion that the Project does not meet the Small Lot Subdivision Guidelines. Page 2 of the Guidelines document states that "this handbook provides recommendations for addressing the complexities of designing small lot developments..." and that "each guideline should be considered in a proposed project. However, because of the unique nature of each small lot development, not all will be appropriate in every case." The project nonetheless conforms to many of the overarching goals and objectives of the Small Lot Subdivision Guidelines, outlined on Page 5 of the Guidelines document, as it leads to the "creation of small lot housing with neighborhood compatibility for consistency with applicable General and Specific Plans." Furthermore, the project complies with the Small Lot Design Standards regarding dwelling orientation, the provision of primary entryways, the stepping back of roof decks, and façade articulation (Exhibit A).

A review process for compliance with the Small Lot Design Standards was incorporated as part of a code amendment to the City's Small Lot Ordinance, adopted on April 18, 2018. This process is administered through a director's level Administrative Clearance. In the case of this Project, administrative case number ADM-2020-6491-SLD was filed concurrently with the Small Lot Subdivision request on October 28, 2020. A completed checklist attesting to Project compliance with the Small lot Design Standards (Exhibit I) was included as part of the Administrative Advisory case file, deemed complete on January 14, 2021.

In addition, the entitlement request before the Advisory Agency was for a Preliminary Parcel Map for a small lot subdivision, not for the administrative clearance of the Small Lot Subdivision Guidelines. The State Subdivision Map Act establishes that local agencies regulate and control the design of subdivisions, and the subdivision and merger of land is regulated by Article 7 of the LAMC. For the purposes of a subdivision, "design" and "improvement" is defined by Subdivision Map Act Section 66418, 66427, and LAMC Section 17.02. Pursuant to Section 66418 of the Map Act, "design" of a map refers to street alignments, grades, and widths; drainage and sanitary facilities and utilities, including alignments and grades thereof; location and size of all required easements and rights-of-way; fire roads and firebreaks; lot size and configuration; traffic access; grading; land to be dedicated for park or recreational purposes; and other such specific physical requirements in the plan and configuration of the entire subdivision as may be necessary to ensure consistency with, or implementation of, the general plan or any applicable specific plan. In addition, Section 66427 of the Subdivision Map Act expressly states that the "design and location of buildings are not part of the map review process for condominium, community apartment or stock cooperative projects". Easements and/or access and "improvements" refers to the infrastructure facilities serving the subdivision. LAMC Section 17.05 enumerates the design standards for a tract map and requires that each map be designed in conformance with the Street Design Standards and in conformance with the General Plan. As indicated in Finding (a) of the Advisory Agency's Determination, LAMC Section 17.05 C requires that the parcel map be designed in conformance with the zoning regulations of the project site.

As the Parcel Map meets the technical requirements of the LAMC, including standards for the maximum permitted density, height, and subdivision of land, the proposed map demonstrates compliance with the LAMC as well as the intent and purpose of the General Plan with regard to density and use. The Parcel Map review process is separate from issues of architectural design or compatibility, as the subdivision is for small lot subdivision purposes, and does not subscribe or necessitate a specific architectural design per Subdivision Map Act Sections 66418 and 66427.

2) Community Plan Compliance Findings

Appeal point 2:

“The City’s findings are not supported by substantial evidence. The Design of the Project is not Consistent with the West Adams - Baldwin Hills - Leimert Community Plan [and] the Project fails to comply with the following goals of the Plan:

- A community that promotes an environment of safe, inviting, secure and high-quality single-family neighborhoods for all segments of the community.
- Ensure that single-family residential neighborhoods are maintained to be safe and inviting environments.
- Need to preserve established single-family neighborhoods.
- New construction should maintain existing low scale character.
- Strive to protect existing single-family and low-density residential neighborhoods from encroachment by higher density residential and other incompatible uses.
- Seek a high degree of architectural compatibility and landscaping for new infill development as well as additions to existing structures in order to protect the character and scale of existing single-family residential neighborhoods.
- Consider factors such as neighborhood character and identity, compatibility of land uses, impact on livability, impacts on services and public facilities, and impacts on traffic levels when changes in residential densities are proposed.”

Staff Response 2:

The Appellant has failed to provide substantive evidence to support its allegations that the the design of the Project is not consistent with the West Adams - Baldwin Hills - Leimert Community Plan. The Advisory Agency has made findings of consistency with the Plan when approving the Project and no new substantial evidence has been raised by the Appellant regarding this analysis. The project site is located within the West Adams - Baldwin Hills - Leimert Community Plan with a Low Medium II Residential land use designation with corresponding zone RD1.5 and RD2. The subject property is zoned RD2-1. The proposed subdivision is for one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot single family homes. Lots 1 and 2 will have two (2) covered parking spaces per lot and one (1) roof deck on each lot, which is consistent with the zone and land use designation.

3) CEQA

Appeal Point 3:

“The Categorical Exemption is Not Appropriate under CEQA. The California Environmental Quality Act (“CEQA”) provides the strong presumption in favor of requiring preparation of an Environmental Impact Report.”

Staff Response 3:

The Appellant has failed to provide substantive evidence to support its allegations that CEQA requires the preparation of an Environmental Impact Report in this case. The Advisory Agency determined that the Project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332, Class 32 (for Infill Development Projects), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

Appeal Point 4:

Class 32 Exemptions may only be used where the Project is consistent with the applicable General Plan. As set forth above, the Project is not consistent with the West Adams - Baldwin Hills - Leimert Community Plan.

Staff Response 4:

See Staff Response 2.

Appeal Point 5:

“Class 32 Exceptions are further only available where the Project would not result in any significant effects relating to traffic, noise, air quality or water quality. Here, not only is the City’s finding to such effect not supported by substantial evidence, there is evidence to the contrary.”

Staff Response 5:

The Appellant has failed to substantiate or provide evidence as to how the project would result in any significant effects relating to traffic, noise, air quality or water quality. The project is beneath the threshold criteria established by LADOT for preparing a traffic study. Therefore, the project will not have any significant impacts to traffic. The project will not result in significant impacts related to air quality because it falls below interim air threshold established by Department of City Planning (DCP) staff. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds.

Furthermore the project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff.

Appeal Point 6:

“CEQA also prohibits use of a categorical exemption when “there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.” (CEQA Guidelines § 15300.2(c)). The “unusual circumstances” exception is established without evidence of an environmental effect upon a showing that the project has some feature that distinguishes it from others in the exempt class, such as its size or location. In such a case, to render the exception applicable, the party need only show a reasonable possibility of a significant effect due to that unusual circumstance. Alternatively, the “unusual circumstances” exception is established with evidence that the project will have a significant environmental effect. The City’s finding that there are no unusual circumstances is not supported by substantial evidence, there is evidence to the contrary.”

Staff Response 6:

The Appellant has failed to substantiate or provide evidence as to how the project would constitute an unusual circumstance that would have a significant effect on the environment in this case. The proposed project consists of development typical of a residential neighborhood; no unusual circumstances are present or foreseeable. The site is zoned RD2-1. The property is currently developed with a single-family residence proposed to be demolished, and is located within the West Adams - Baldwin Hills - Leimert Community Plan, which designates the site for Low Medium II Residential land uses. The proposed subdivision is for one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot single family homes. Lots 1 and 2 will have two (2) covered parking spaces per lot and one (1) roof deck on each lot, which is consistent with the zone and land use designation.

Appeal Point 7:

“Finally, application of the Class 32 exemption is inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant. Cumulative impacts have not been adequately evaluated.”

Staff Response 7:

The Appellant has failed to substantiate or provide evidence as to how the project would significantly contribute to a cumulative impact of successive projects of the same type in the same place, over time. The project is consistent with the type of development permitted for the areas zoned RD2-1 and designated Low Medium II Residential land use. The project site is currently developed with a single-family residence proposed to be demolished. Given the proposed project is for 2 dwelling units, that equates to a net increase of one (1) dwelling unit. On July 19, 2018 the Advisory Agency approved a small lot subdivision for the construction, use and maintenance of two (2) small lot single family homes at 2022 South Curson Avenue. On November 11, 2019 the Advisory Agency approved a small lot subdivision for the construction, use and maintenance of two (2) small lot single family homes at 1918 South Curson Avenue. Both of these subdivisions requested the same set of entitlements as the subject project, and all were consistent with the zone and land use designation of the project sites. No other subdivision has been developed near the subject site within the last thirteen years.

CONCLUSION

For the reasons stated herein, and per the findings of the Advisory Agency's Determination, the proposed project complies with the applicable provisions of the Subdivision Map Act, the West Adams - Baldwin Hills - Leimert Community Plan, and the California Environmental Quality Act (CEQA). Planning staff evaluated the proposed project and determined it meets the findings to approve a Small Lot Subdivision and that the project qualifies for a Class 32 Categorical Exemption. Based on the complete plans submitted by the applicant and considering the appellant's arguments for appeal, staff has determined that the project meets the required findings.

Therefore, staff recommends that the Area Planning Commission take the following actions: determine that based on the whole of the administrative record, the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies, deny the appeal filed by Alfredo Mercado and the Curson Avenue Neighbors and sustain the decision of the Advisory Agency to approve a Preliminary Parcel Map Approval to subdivide one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot single family dwellings in the RD2-1 zone; adopt the attached Findings, and adopt the attached Conditions of Approval.

TOPOGRAPHIC SURVEY

2036 S. CURSON AVENUE, LOS ANGELES, CA 90016

NOTES

UNDERGROUND UTILITIES
EXCEPT FOR THOSE SHOWN HEREON NO ATTEMPT HAS BEEN MADE TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLIC OWNED.

BOUNDARY & EASEMENTS
THE PROFESSIONAL SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

NOT ALL TREES ARE SHOWN HEREON.

THIS IS NOT A BOUNDARY SURVEY.

LEGEND AND SYMBOLS ABBREVIATIONS

	LOT LINE	AC	: ASPHALTIC CONCRETE
	CENTER LINE	CB	: CATCH BASIN
	CHAIN LINK FENCE	CONC	: CONCRETE
	IRON FENCE	CL	: CENTER LINE
	WOODEN FENCE	CD	: CURB DRAIN
	BLOCK WALL	AD	: AREA DRAIN
	RETAINING WALL	W	: WATER
	STREET LIGHT	FDC	: FIRE DEPARTMENT CONNECTION
	TREE	HB	: HOSE BIB
	PINE TREE	EG	: EDGE OF GUTTER
	PALM TREE	ICV	: IRRIGATION CONTROL VALVE
	POWER POLE	FH	: FIRE HYDRANT
	STREET SIGN	FF	: FINISH FLOOR
	STREET LIGHT POOL BOX	FL	: FLOW LINE
	WATER METER	FS	: FINISH SURFACE
	WATER VALVE	FW	: FACE OF WALL
	FIRE HYDRANT	TRW	: TOP OF RETAINING WALL
	BOLLARD	TW	: TOP OF WALL
	GAS METER	BFL	: BACK FLOW PREVENTER
	GUY WIRE	C/O	: CLEANOUT
	ELECTRICAL BOX	SS	: SANITARY SEWER
	PARKING SIGN	FW	: FRONT OF WALK
		BW	: BACK OF WALK
		LE	: LANDSCAPE EDGE

BRIEF LEGAL DESCRIPTION

LOT 60 OF TRACT No. 5770, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 62, PAGES 7 AND 8 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5064-016-002

BASIS OF BEARING

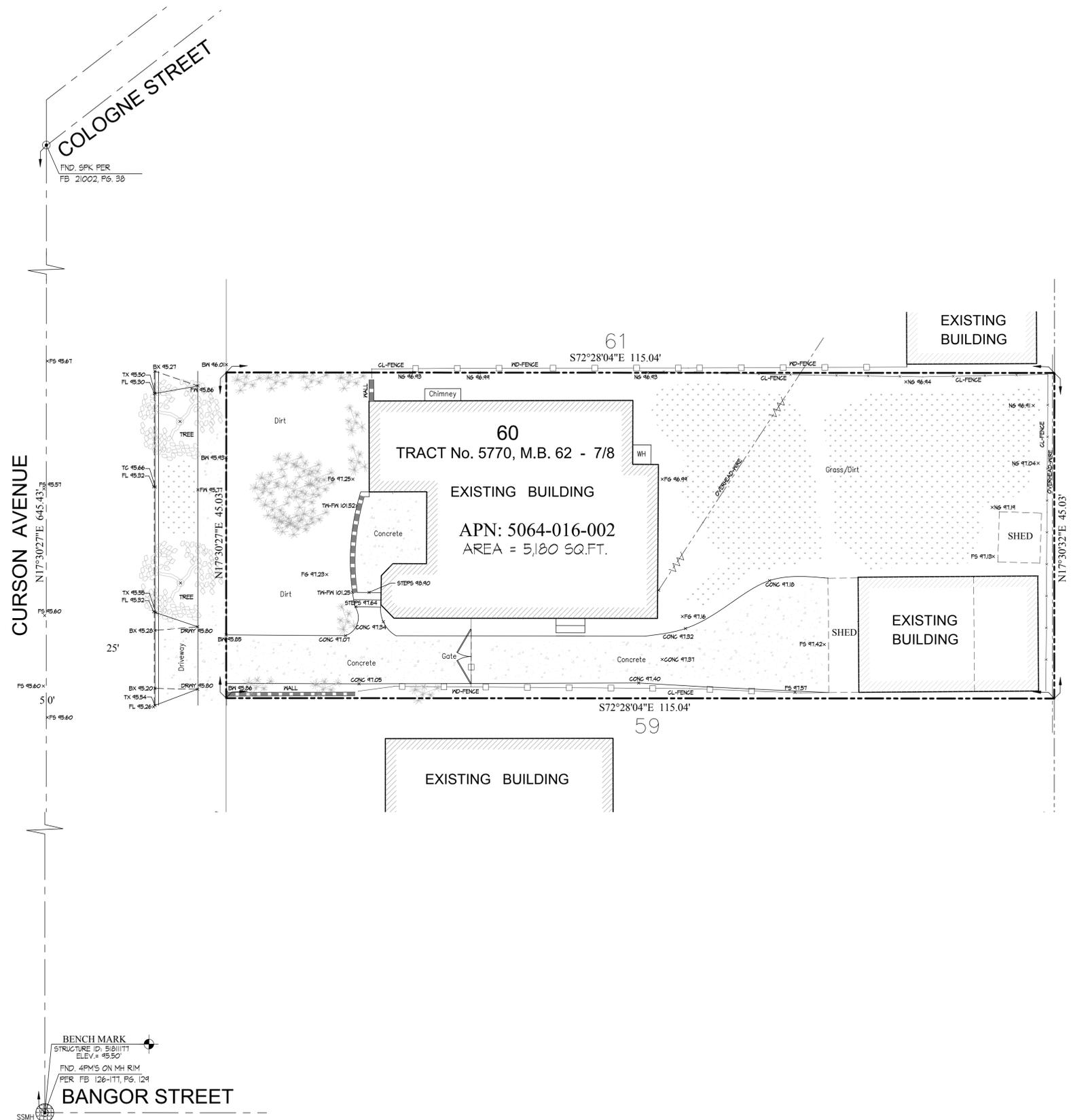
THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING N17°30'27"E OF A COURSE IN THE STREET CENTERLINE OF CURSON AVENUE AS SHOWN ON THE MAP OF TRACT No. 5770, M.B. 62, PAGES 7 AND 8.

BENCHMARK

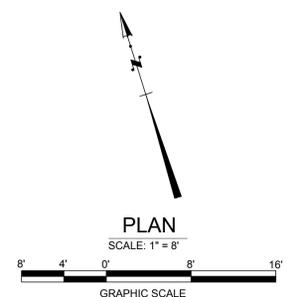
STRUCTURE ID : 51811177
ELEVATION = 95.50 FT.
YEAR INSTALLED : 1927
TYPE CODE : MH
LAST UPDATE : 06/18/2013

DATE OF SURVEY

SEPTEMBER 5, 2020



A-2



George Barajas
GEORGE BARAJAS, PLS 8399

09-06-2020
DATE

TENTATIVE PARCEL MAP FOR SMALL LOT SUBDIVISION PURPOSES IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

BEING A SUBDIVISION OF LOT 60 OF TRACT NO. 5770,
AS PER MAP RECORDED IN BOOK 62, PAGES 7 AND 8 OF MAPS, RECORDS OF LOS ANGELES COUNTY

ZONING:

RD2-1
GENERAL PLAN USE : LOW MEDIUM II RESIDENTIAL

PROJECT AREA:

5,180 SQ. FT. - 0.12 ACRE

NOTES:

PROTECTED TREE SPECIES - NO
LIQUEFACTION - YES

THOMAS GUIDE:

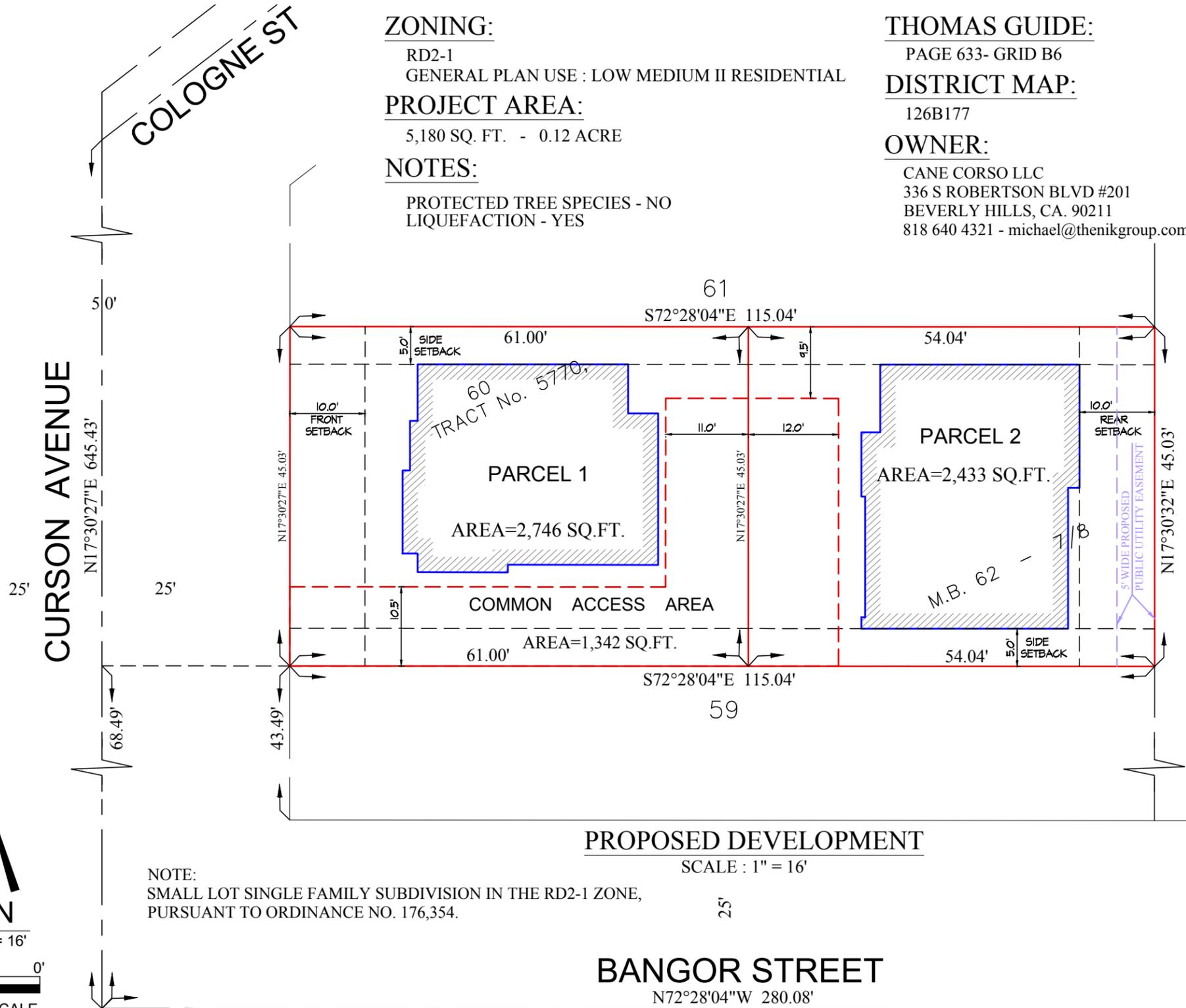
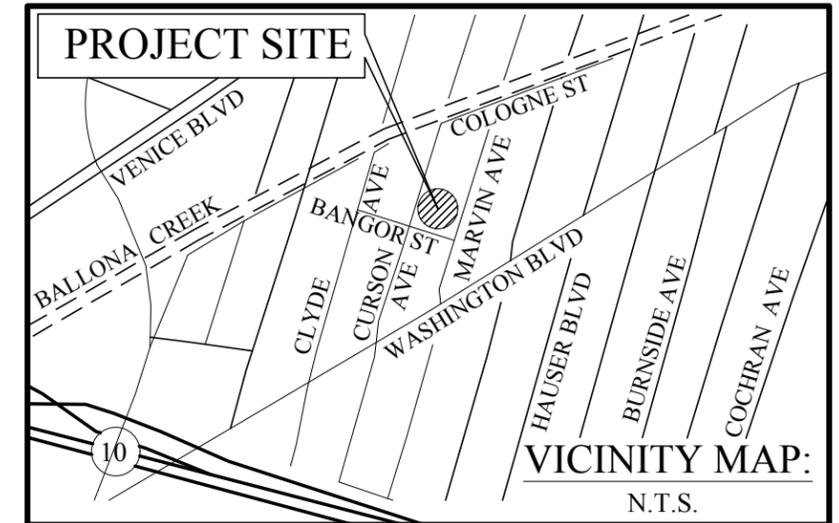
PAGE 633- GRID B6

DISTRICT MAP:

126B177

OWNER:

CANE CORSO LLC
336 S ROBERTSON BLVD #201
BEVERLY HILLS, CA. 90211
818 640 4321 - michael@thenikgroup.com



NOTE:
SMALL LOT SINGLE FAMILY SUBDIVISION IN THE RD2-1 ZONE,
PURSUANT TO ORDINANCE NO. 176,354.

PROPOSED DEVELOPMENT

SCALE : 1" = 16'

BANGOR STREET

N72°28'04"W 280.08'

PROJECT ADDRESS:

2036 S. CURSON AVENUE,
LOS ANGELES, CA 90016

LEGAL DESCRIPTION:

LOT 60 OF TRACT No. 5770, IN THE CITY OF LOS ANGELES,
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER
MAP RECORDED IN BOOK 62, PAGES 7 AND 8 OF MAPS, IN THE
OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5064-016-002

SURVEYOR:

GEORGE BARAJAS, PLS 8399
LICENSE EXPIRATION DATE : 06-30-2022

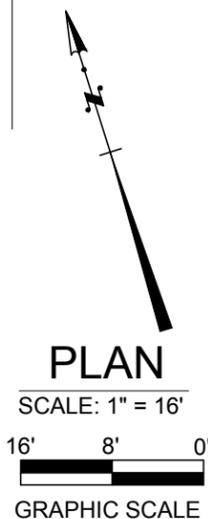
3636 SHADOW GROVE ROAD
PASADENA, CA 91107
TEL No. : 818-402-5461
gmsurveying@gmail.com

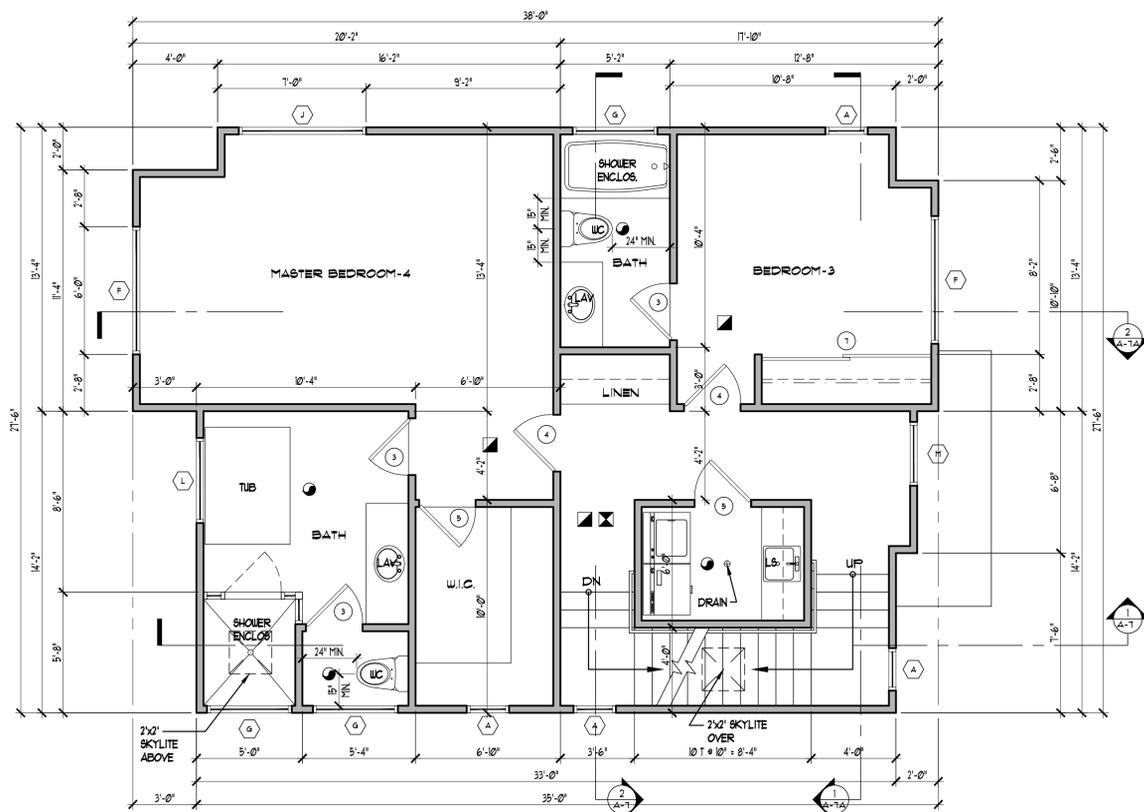


09-28-2020

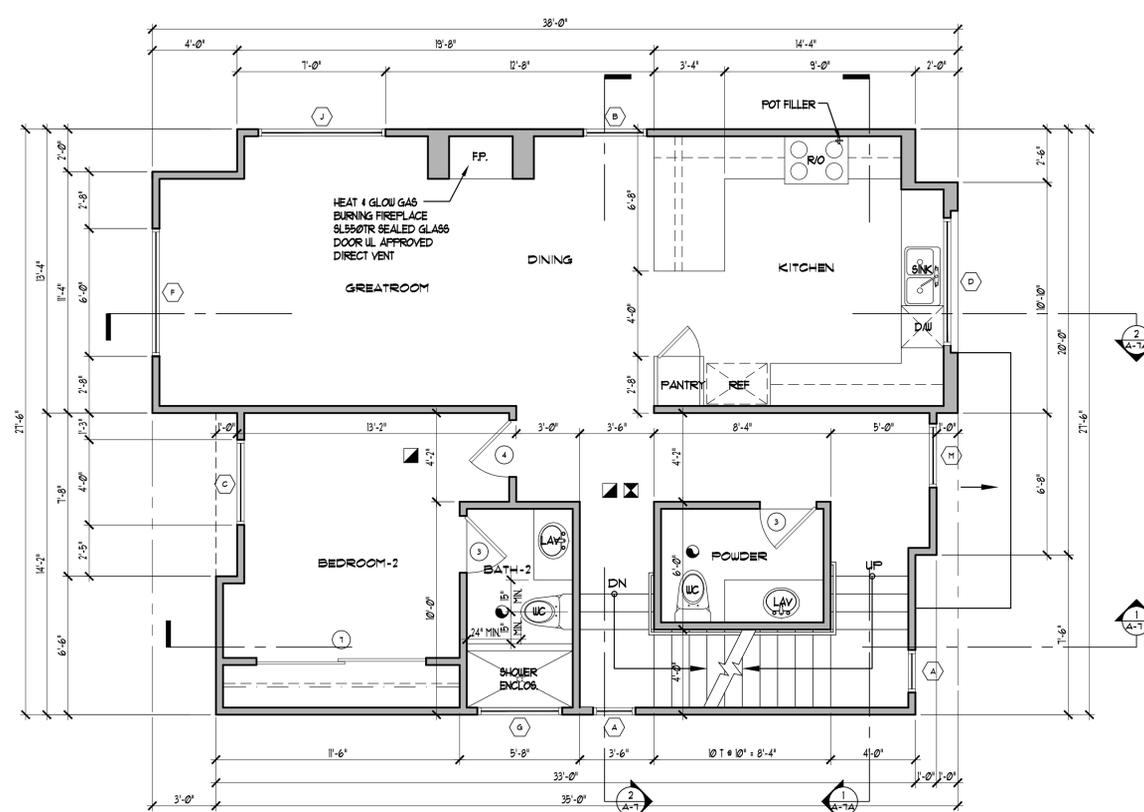
GEORGE BARAJAS, PLS 8399

DATE

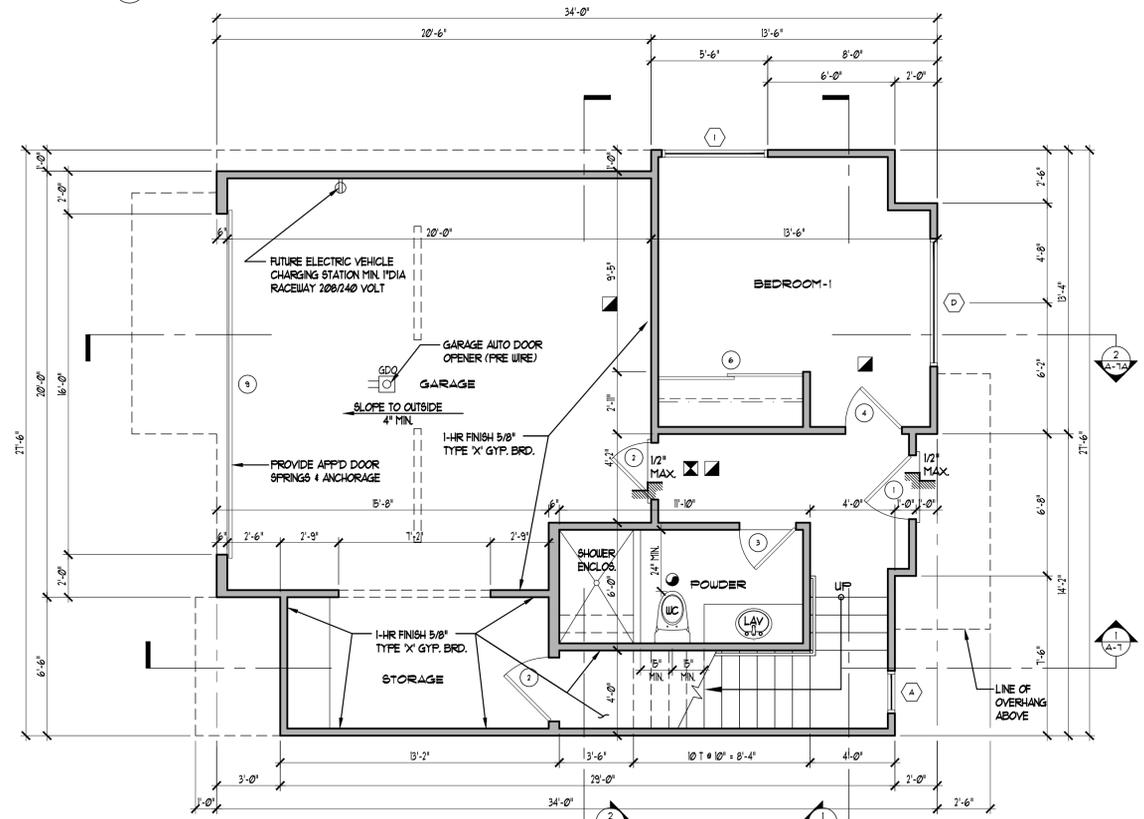




3 THIRD FLOOR PLAN 794 S.F. INSIDE WALLS (860 S.F. INCLUDING WALLS) 1/4" = 1'-0"



2 SECOND FLOOR PLAN 794 S.F. INSIDE WALLS (860 S.F. INCLUDING WALLS) 1/4" = 1'-0"

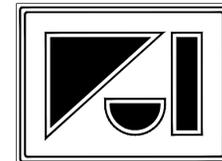


1 FIRST FLOOR PLAN 315 S.F. INSIDE WALLS (345 S.F. INCLUDING WALLS) 1/4" = 1'-0"
475 S.F. GARAGE

NOTES:

1. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. (4.506.1)
2. BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. (4.506.1)
3. FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) IN ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES:
 - a) SHOW ON PLANS THAT A MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED TO ACCOMMODATE A DEDICATED 200/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE.
 - b) ADD NOTE TO PLANS: "SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED."
 - c) ADD NOTE TO PLANS: "A LABEL STATING 'EV CAPABLE' SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND NEXT TO THE RACEWAY TERMINATION POINT."
4. ONLY A CITY OF LOS ANGELES CERTIFIED HAULER WILL BE USED FOR HAULING OF CONSTRUCTION WASTE (4.410.3.410)

(4.106.4.1)



VALENTINE JANEV ARCHITECT, INC.

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ARCHITECTURE
PLANNING
CONSTRUCTION MANAGEMENT

19261 Wells Drive,
Tarzana, CA 91356

Phone (818) 222-0601

PROJECT:

CURSON - 3 VILLAS

2036 - 2034 S. CURSON AVE.,
LOS ANGELES, CA. 90016

OWNER:

THE NIK GROUP

12501 CHANDLER BLVD.
SUITE 204 VALLEY VILLAGE,
CA. 91607

SHEET TITLE:

**FLOOR PLANS
UNIT TYPE A**

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VOID WITHOUT SIGNATURE AND SEAL

PRE-CONSTRUCTION CONSTRUCTION

ISSUED FOR DATE REV. SUBJECT DATE

ISSUED FOR	DATE	REV.	SUBJECT	DATE

DRAWN:

CHECKED:

DATE:

SCALE:

JOB NO:

SHEET NUMBER:

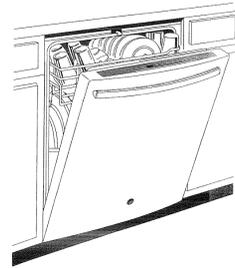
A-4

GDT695SGJ/SMJ/SSJ/SBL/SFL

GE Appliances Stainless Steel Interior Dishwasher with Hidden Controls

FEATURES AND BENEFITS

- Third Rack - Easily clean an entire flatware collection, knives and small utensils with an additional rack across the top of the dishwasher
- Bottle Jets - Clean hard-to-reach areas inside tall items with dedicated jets integrated into the upper rack that shower water deep inside for the ultimate clean
- Easy touch adjustable upper rack with 2 Stem Safe shelves - Quickly adjust the upper rack 2 inches up or down to accommodate tall glassware and 10 1/2" plates with plenty of room in the bottom rack for large platters and cookie sheets
- Piranha™ hard food disposer with removable filter - To ensure consistently clean items, this stainless steel blade rotates at 3600 RPM to pulverize food particles and helps to prevent large particles from clogging the wash arms
- Full-extension smooth-glide upper rack - Loading and unloading is smooth and simple with a durable rack that fully extends on ball bearings
- Hidden vent with fan dry - Dishes dry quickly and efficiently with a fan that extracts moisture from the interior
- Lower rack multi-position, fold-down times - Configure racks to fit your dishes with adjustable loading options including multi-position, fold-down times
- Floor Protect - Uncommon leaks can be easily detected and contained
- 45 dBA - Ultra-quiet operation creates a peaceful kitchen environment even as it delivers powerful wash performance
- Model GDT695SSJSS - Stainless steel
- Model GDT695SGJWW - White
- Model GDT695SGJBB - Black
- Model GDT695SMJES - Slate
- Model GDT695SBLTS - Black Stainless
- Model GDT695SFLDS - Black Slate



GDT695SGJ/SMJ/SSJ/SBL/SFL

GE Appliances Stainless Steel Interior Dishwasher with Hidden Controls

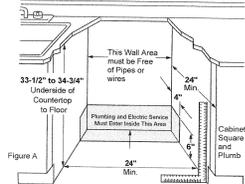
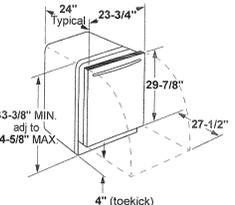
DIMENSIONS AND INSTALLATION INFORMATION (IN INCHES)

ELECTRICAL RATING

- Voltage AC.....120
- Herb.....60
- Total connected load amperage.....7.2
- Calorific heater watts max.....415/800

For use on adequately wired 120 volt, 15-amp circuit having 2-wire service with a separate ground wire. This appliance must be grounded for safe operation.

INSTALLATION INFORMATION: Before installing, consult installation instructions packed with product for current dimensional data.



For answers to your questions, GE Café™ Series, GE Profile™ Series or GE Appliances product questions, visit our website at www.geappliances.com or call GE Answer Center™ Service, 800.628.2596.

Specification Revised 2/17

Honeywell



Wi-Fi 9000

Remote comfort control never looked so good.



Product Description

- ENERGY STAR® Certified
- Remote comfort control via web, tablet or smartphone by connecting with Honeywell's Total Connect Comfort services
- Universal Application up to 3H/2C heat pump and 2H/2C conventional
- Contemporary design with customizable display color
- Tool-free wiring, manual-free install and setup
- On-screen Wi-Fi connection process
- Equipment check/change reminders help generate repeat business
- Works with integrators including Amazon® Echo™ and Google Home™ for enhanced comfort, control and an even greater connected home experience — for a complete list, visit our [integrations page](#)

Showing 1-25 of 3002 results

CRIC PROD. ID	MANUFACTURER	BRAND AND MODEL	PRODUCT TYPE	COLOR	SOLAR REFLECTANCE		THERMAL EMITTANCE		SRI	MORE INFO	
					INITIAL	3 YEAR	INITIAL	3 YEAR			
0986-0004	A-1 Grit Company	Arctic White Granite size #11. Tested over a white adhesive. Manufacturer recommends 100% granule coverage for proper performance.	Stone/Rock	Bright White	0.73	0.56	0.92	0.90	91	67	±
0986-0005	A-1 Grit Company	Glacier White 3/8 inch aggregate. Tested over black asphalt with a maximum solar reflectance of 0.05. Manufacturer recommends 100% granule coverage for proper performance.	Stone/Rock	Bright White	0.70	Pending	0.85	Pending	85	Pending	±
0986-0003	A-1 Grit Company	White-C 7/16 inch aggregate. Tested over a white adhesive. Manufacturer recommends 100% granule coverage for proper performance.	Stone/Rock	Bright White	0.61	Pending	0.79	Pending	70	Pending	±
0642-0006	Accella Polyurethane Systems, LLC	ACRY-TEK 9000 White	Coating	Bright White	0.85	0.66	0.85	0.89	106	80	±
0642-0004	Accella Polyurethane Systems, LLC	POLY-SIL 2200 White	Coating	Bright White	0.85	0.66	0.85	0.90	106	80	±
0642-0007	Accella Polyurethane Systems, LLC	POLY-SIL™ 1500 White	Coating	Bright White	0.87	0.70	0.89	0.90	110	86	±
0642-0005	Accella Polyurethane Systems, LLC	ACRY-TEK 4200 White	Coating	Bright White	0.80	0.69	0.86	0.92	99	85	±
0862-0001	Ace Coating Company Inc.	Alpha 8 505	Coating	Bright White	0.84	0.72	0.79	0.86	104	88	±
1156-0001	Acrylabs	Acrylic Coating 2100F White	Coating	Bright White	0.84	0.79	0.88	0.88	105	98	±

KEY NOTES:

- CHECK AND VERIFY LOCATIONS & EXACT SIZES OF ALL A/C EQUIPMENT, REQUIRED OPENINGS & SUPPORTS WITH A/C CONTRACTORS BEFORE FRAMING BEGINS. ANY REWORKING REQUIRED TO ACCOMMODATE EQUIPMENT IN QUESTION SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- ROOFING WEIGHT OF MATERIALS PER 100 SQ.FT. CLASS 'B' ROOF
 - H.M.P. ASPHALT (NAILED) 15LBS.
 - ALL WEATHER BASE SHEET (2 LAYERS) 80LBS.
 - H.M.P. ASPHALT (NAILED) 15LBS.
 - ALL WEATHER BASE SHEET (2 LAYERS) 25LBS.
 - NO. 80 MINERAL SURFACE CAP SHEET (GLASS) 80LBS.
 APPROXIMATE TOTAL WEIGHT 225 LBS.
- CRICKET WITH 1/2" PLYWOOD OVER 2X SLEEPERS TYPICAL.
- SOLAR PANEL ROUTING. (SEE PLUMBING DWG'S FOR EXACT LOCATION.)
- CONDUITS FOR ROOF TERMINATED IN A NEMA 3R 24"x36" ENCLOSURE FOR SOLAR PANEL INVERTERS.

GENERAL NOTES:

- MINIMUM ROOF SLOPE OF 3/8" PER FOOT SHALL BE PROVIDED AT ANY POINT OF THE ROOF. PROVIDE UNIFORM SLOPE TOWARD DOWNSPOUTS AND/OR SCUPPERS AS INDICATED ON ROOF PLAN. (REFER TO DETAILS FOR DOWNSPOUTS AND SCUPPERS INCLUDED IN THIS DRAWING.)
- INSULATIONS SHALL BE INSTALLED AT BOTTOM OF JOISTS OR FRAMING UNDER ENTIRE ROOF. USE R-30 INSULATION WITH VAPOR BARRIER.
- PAINT ALL ROOF EQUIPMENTS. ALL ROOF METAL SHALL RECEIVE TWO (2) COATS OF EXTERIOR SEMI GLOSS PAINT. VERIFY COLOR W/ARCHITECT.
- PROVIDE ATTIC DRAFT STOPS AS REQUIRED(SEE ROOF PLAN & DETAILS). DRAFT STOPS SHALL DIVIDE ATTIC SPACES INTO AREAS NOT TO EXCEED 3,000 SQ. FT. PER USC SEC.3205(8).SEE DETAILS FOR WOOD & GYP. BOARD DRAFT STOPS. PROVIDE 2" X 4" WOOD FRAMING AS REQUIRED TO COMPLETE ITS CONSTRUCTION.
- PROVIDE GRAVITY TYPE ATTIC VENTILATORS AT ROOF IF TRUSSES ARE NOT OF SOLID WEB CONSTRUCTION. WHEN ATTIC DRAFT STOP ARE REQUIRED PROVIDE TWO (2) ROOF GRAVITY VENTILATORS FOR EACH DIVISION.
- CONTRACTOR TO CONFIRM THAT ALL AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING.
- DRAINAGE TO BE CONDUCTED FROM ROOF TO THE STREET UNDER SIDEWALK VIA NON-EROSIVE DEVICE.
- THE ROOFS FOR THE MAIN BUILDING AND THE EXISTING BUILDING ARE TO BE INSPECTED BY A QUALIFIED ROOFING SPECIALIST TO VERIFY THAT:
 - ALL EXISTING ROOFING MATERIALS AND INSTALLATION METHODS HAVE BEEN PROPERLY INSTALLED AND MAINTAINED.
 - ASSOCIATED FLASHING AND SHEET METAL HAVE BEEN PROPERLY AND MAINTAINED.
 - THE ROOFS ARE TO BE FLOOD TESTED IN A MANNER APPROPRIATE TO THE TYPE EXISTING ROOFING SEE NOTE I. BELOW.
 - ANY DEFICIENCIES OR LEAK CONDITIONS ARE TO BE CORRECTED TO INSURE A WATERTIGHT INSTALLATION FOR A PERIOD OF ONE ACCEPTANCE BY THE TENANT.
 - ROOF FLOOD TEST TO BE CONDUCTED IN THE PRESENCE OF THE BUILDING OWNER AND TENANT. CONTRACTOR TO PROVIDE MIN. 96 HRS. NOTICE TO BOTH PARTIES
 - 30" PARAPET IN THE AREA SEPARATION WALL TO THE STREET 7013.9.
 - FIRE PARTITION'S AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS(708,4,709.4)
 - FIRE RATED ASSEMBLIES SHALL BE PER TABLE 720, GENERIC ASSEMBLIES OF GYPSUM HANDBOOK HAVE LARR APPROVAL OR ICC APPROVAL.
 - THE SIZE AND LAYOUT OF THE HEATING AND AIR CONDITIONING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH ACCA MANUAL J, ACCA 29-D AND ACCA36-S, ASHRAE HANDBOOKS. (4.507.2)
 - THAT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN THE BUILDINGS ENVELOPE AT EXTERIOR WALLS WILL BE PROTECTED AGAINST THE PASSAGE OF RODENTS. (I.C. CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE, MASONRY, OR METAL PLATES)(4.406.1).
 - WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3 UPC).
 - A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTION 110.10(c) THROUGH 110.10(c) SHALL BE PROVIDED TO THE OCCUPANT.
 - 1" MIN. METAL CONDUITS TO ROOF TERMINATED IN NEMA 3R 24"x36" ENCLOSURE FOR SOLAR PANEL INVERTERS. THE FUTURE ELECTRICAL SOLAR SYSTEM SHALL BE LABELED AS PER THE LOS ANGELES FIRE DEPARTMENT.
 - THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW THE INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.



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CURSON - 3 VILLAS

2036 - 2034 S. CURSON AVE., LOS ANGELES, CA. 90016

OWNER:

THE NIK GROUP

12501 CHANDLER BLVD. SUITE 204 VALLEY VILLAGE, CA. 91607

SHEET TITLE:

ROOF PLANS UNIT TYPE A & B

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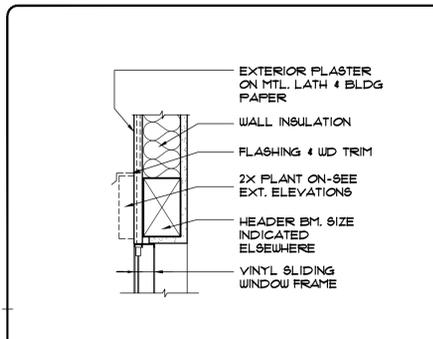
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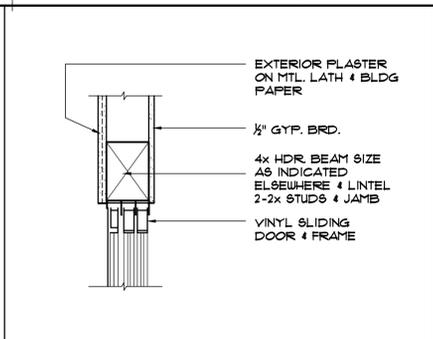
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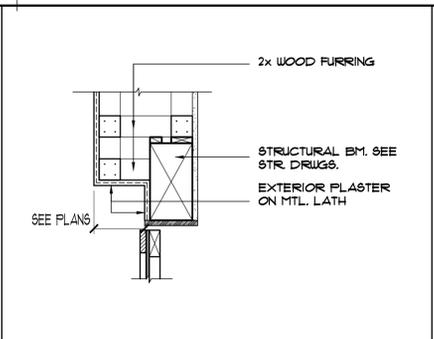
A-6



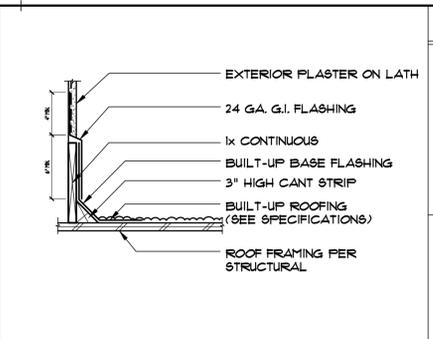
16 WINDOW HEAD SCALE: 1 1/2"=1'-0"



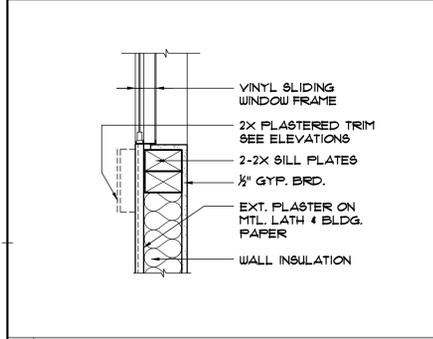
11 SLIDING DOOR HEAD/JAMB SCALE: 1 1/2"=1'-0"



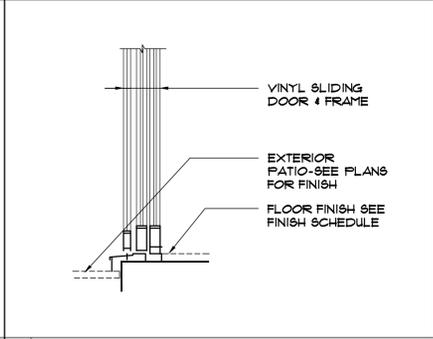
6 GARAGE DOOR HEAD SCALE: 1 1/2"=1'-0"



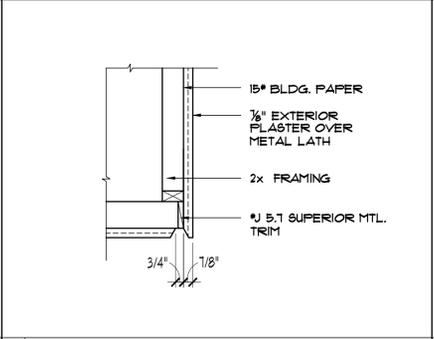
1 ROOF AT WALL DETAIL SCALE: 1 1/2"=1'-0"



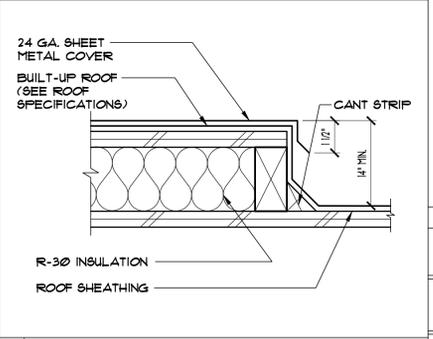
17 WINDOW SILL SCALE: 1 1/2"=1'-0"



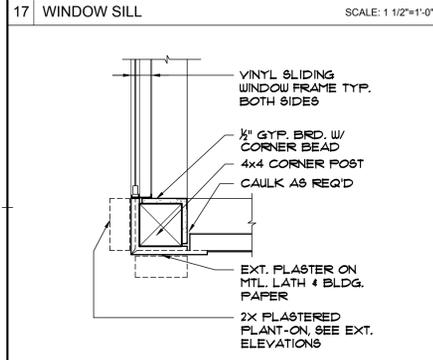
12 SLIDING DOOR SILL SCALE: 1 1/2"=1'-0"



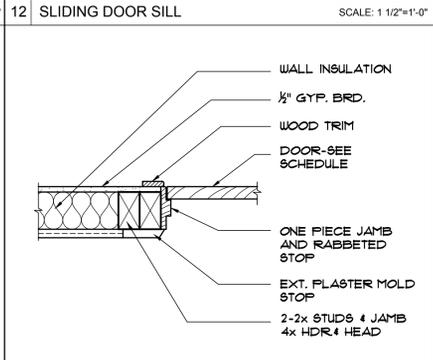
7 WALL FLASHING SCALE: 1 1/2"=1'-0"



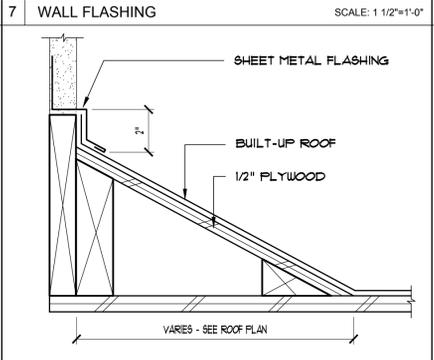
2 MECH. EQUIPMENT PLATFORM SCALE: 3"=1'-0"



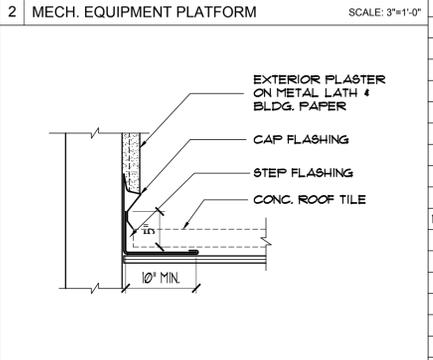
18 CORNER WINDOW SCALE: 1 1/2"=1'-0"



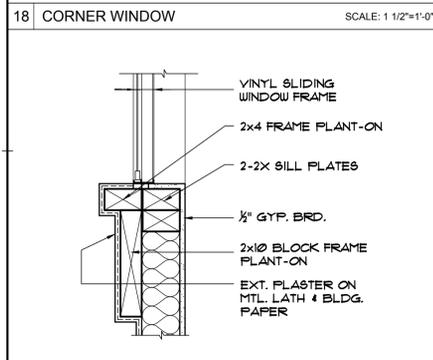
13 ENTRY DOOR HEAD/JAMB SCALE: 1 1/2"=1'-0"



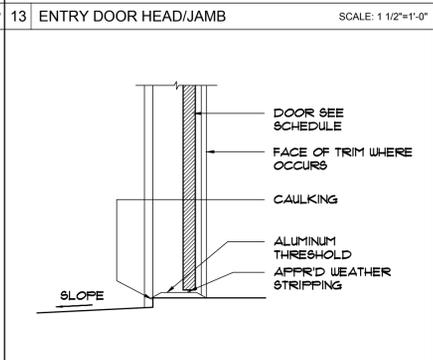
8 CRICKET DETAIL SCALE: 3"=1'-0"



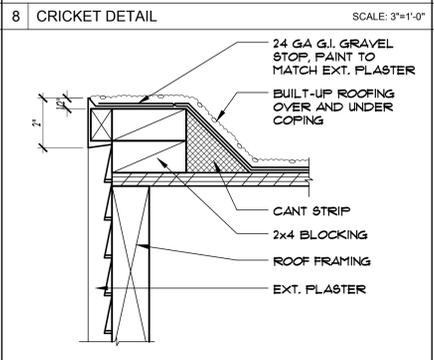
3 CAP FLASHING SCALE: 1"=1'-0"



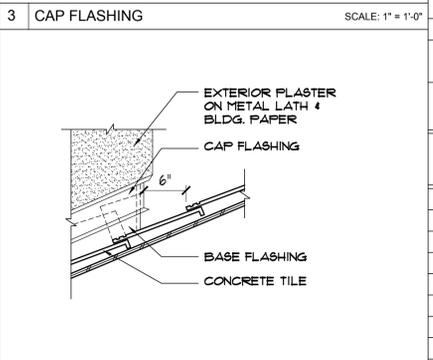
19 WINDOW SILL TRIM SCALE: 1 1/2"=1'-0"



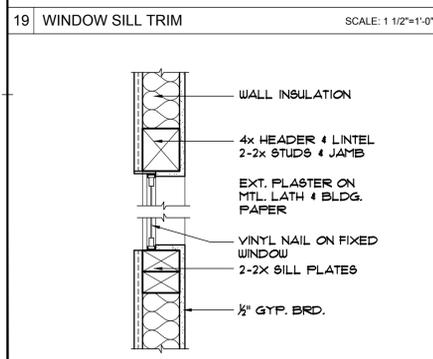
14 THRESHOLD SCALE: 1 1/2"=1'-0"



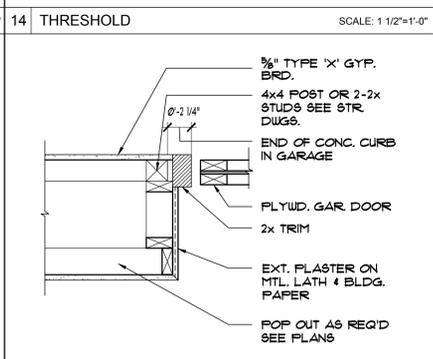
9 ROOF CURB SCALE: 3"=1'-0"



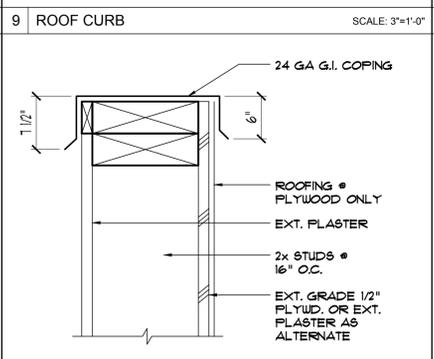
4 BASE FLASHING SCALE: 1"=1'-0"



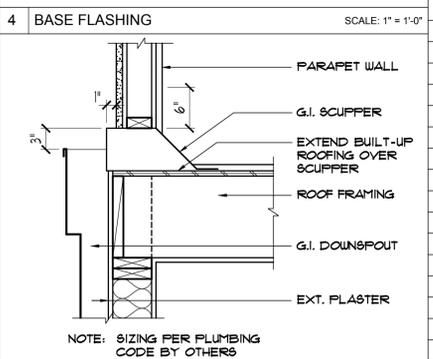
20 FIXED HEAD/JAMB AND SILL SCALE: 1 1/2"=1'-0"



15 GARAGE DOOR JAMB SCALE: 1 1/2"=1'-0"



10 PARAPET CAP SCALE: 1"=1'-0"



5 SCUPPER DETAIL SCALE: 1"=1'-0"

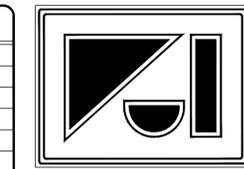
FINISH SCHEDULE										FINISH CODE					
SPACE	FLOOR				BASE			WALLS		CEILING		A MANUFACTURER B FLAT LATEX PAINT-2 COATS C SEMI GLOSS ENAMEL-2 COATS D SEMI GLOSS ENAMEL-3 COATS E STAIN F INTEGRAL COLOR G ACOUSTIC H SMOOTH TROUPEL SEAL			
	CARPET	HARDWOOD	CER. TILE	CONCRETE	WOOD	CER. TILE	RUBBER	DEX-O-TEX	GYP. BOARD	WOOD	FINISH		GYP. BOARD	WOOD	FINISH
BUILDING															
ENTRY / FOYER															
POWDER															
LIVING															
DINING															
UTILITY															
HALL															
KITCHEN															
NOOK															
FAMILY															
PATIO / PORCH															
GARAGE															
BEDROOMS															
BATHS															
W.I.C.															
STAIR															

DOOR SCHEDULE										TYPES					
NO.	HT.	WT.	SIZE		THK.	FRAME		DOOR		HARDWARE		REMARKS	A	B	
			WIDTH	HEIGHT		MTL.	FIN.	MTL.	FIN.	LOCK	CLOS.				THR.
1	A	3'-0"	8'-0"	1 3/4"	-	-	D	-	E	KEY	-	AL.	TIGHTFIT WEATHER STRIP, SOLID CORE		
2	A	3'-0"	8'-0"	1 3/4"	20 MIN.	-	D	-	E	KEY	O.H.	-	TIGHTFIT SELF CLOSING, & LATCHING		
3	A	2'-8"	8'-0"	1 3/8"	-	-	D	-	E	PRIV.	-	-	WARDROBE		
4	A	2'-8"	8'-0"	1 3/8"	-	-	D	-	E	L/S	-	-	WARDROBE		
5	A	2'-8"	8'-0"	1 3/8"	-	-	D	WD & GLASS	E	PASSAGE	-	-	WARDROBE		
6	E	6'-0"	8'-0"	1 3/8"	-	-	D	MTL & GLASS	E	-	-	-	WARDROBE		
7	E	8'-0"	8'-0"	1 3/8"	-	-	D	MTL & GLASS	E	-	-	-	WARDROBE		
8	F	6'-0"	8'-0"	1 3/4"	-	-	D	MTL & GLASS	E	-	-	-	PATIO DOOR		
9	*	16'-0"	8'-0"	1 3/4"	-	-	A	MTL & GLASS	E	-	-	-	GARAGE ROLL-UP DOOR		
10	*	2'-8"	6'-8"	1 3/4"	-	-	A	MTL & GLASS	E	-	-	-	ROOF TOP ACCESS DOOR		

WINDOW SCHEDULE										TYPES	
NO.	HT.	WT.	SIZE		MATERIAL	FIN.	GLASS	SCREEN	REMARKS	1	2
			WIDTH	HEIGHT							
A	4	2'-0"	4'-6"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		
B	4	3'-0"	1'-0"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		
C	4	4'-0"	1'-0"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		
D	4	6'-0"	4'-6"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	OBSCURED GLASS		
E	4	6'-0"	6'-0"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		
F	4	6'-0"	1'-0"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		
G	4	4'-0"	2'-0"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		
H	1	2'-0"	1'-0"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		
I	1	5'-0"	4'-6"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		
J	3	6'-0"	2'-0"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		
L	4	4'-0"	4'-6"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		
M	4	2'-0"	2'-0"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		
N	3	5'-0"	2'-0"	MTL. & GLASS	A	DOUBLE	A	FIBER GLASS	-		

NOTE: ALL GLASS DOORS, GLASS PANELS IN DOORS SHALL BE TEMPERED GLASS.

NOTE: ALL BEDROOM WINDOWS SHALL HAVE MIN. OF 5.7 SQFT. CLEAR OPENING, 24" HIGH, 20" WIDE, AND 44" MAX. SILL HEIGHT, 42" MIN. SILL HEIGHT OR PROVIDE A GUARD RAIL.



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SHEET TITLE:
SCHEDULES
AND DETAILS

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF VALENTINE JANEV ARCHITECT, INC. AND SHALL NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE WRITTEN CONSENT OF VALENTINE JANEV ARCHITECT, INC. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED AT THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF VALENTINE JANEV ARCHITECT, INC. PRIOR TO THE COMMENCEMENT OF ANY WORK.

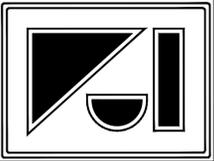
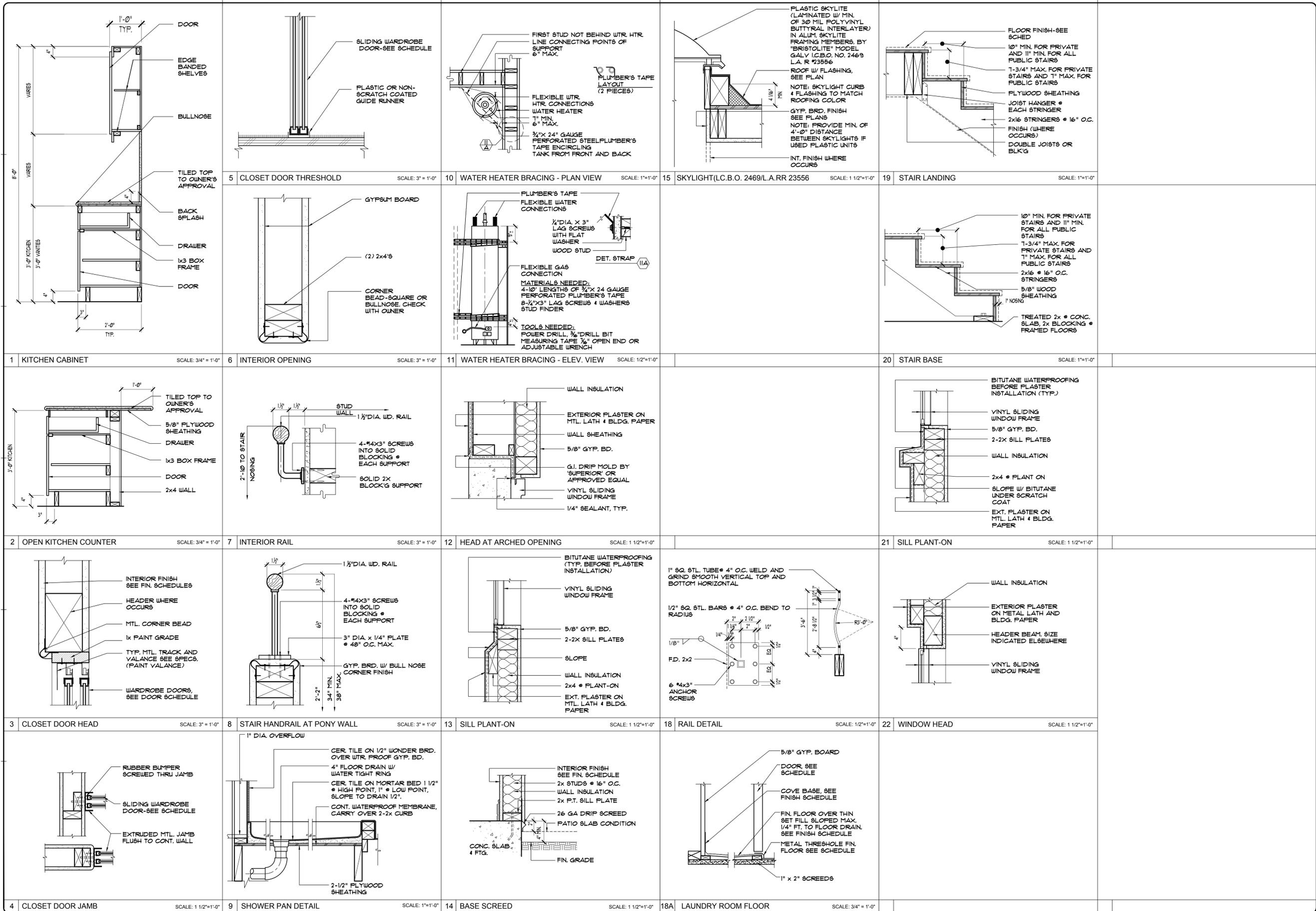


VOID WITHOUT SIGNATURE AND SEAL

PRE-CONSTRUCTION		CONSTRUCTION	
ISSUED FOR	DATE	REV.	SUBJECT

DRAWN:
CHECKED:
DATE:
SCALE:
JOB NO:
SHEET NUMBER:

D-1



VALENTINE JANEV ARCHITECT, INC.

B.A., B. ARCH., M.A.I.B.C., M.R.A.I.C., A.I.A.

ARCHITECTURE
PLANNING
CONSTRUCTION MANAGEMENT

19281 Wells Drive,
Tarzana, Ca 91356

Phone (818) 222-0601

PROJECT:

CURSON - 3 VILLAS

2036 - 2034 S. CURSON AVE.,
LOS ANGELES, CA. 90016

OWNER:

THE NIK GROUP

12501 CHANDLER BLVD.
SUITE 204 VALLEY VILLAGE,
CA. 91607

SHEET TITLE:

DETAILS

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF VALENTINE JANEV ARCHITECT, INC. AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. LOCATION OF PARTY AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE WRITTEN CONSENT OF VALENTINE JANEV ARCHITECT, INC. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED AT THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF VALENTINE JANEV ARCHITECT, INC. PRIOR TO THE COMMENCEMENT OF ANY WORK.



VOID WITHOUT SIGNATURE AND SEAL

PRE-CONSTRUCTION CONSTRUCTION

ISSUED FOR DATE REV. SUBJECT DATE

D-2



Low Impact Development (LID) Post Construction Stormwater Mitigation Best Management Practices (BMPs)

STORMWATER BMP(S) VERIFICATION

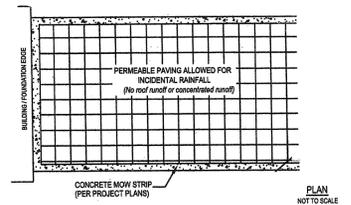
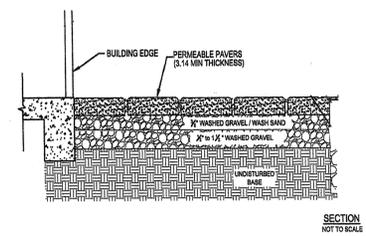
Upon LADBS Inspector Verification that approved stormwater BMPs are in place, a Stormwater Observation Report (SOR) Form shall be submitted to Department of Public Works, Bureau of Sanitation, 201 N. Figueroa, 3rd floor, station 18.

Project Address: 2036 -2034 S. CURSON AVENUE, LOS ANGELES, CA. 90016

Table with 4 columns: Item #, Stormwater BMP, Description (Units, total), Reference Sheet(s)* (Sheet #). Includes items like Rain Tank(s), Shade Tree, Permeable pavers, Rain Garden, Dry Well, and SUMP Pump.

Table with 4 columns: Item #, Stormwater BMP, Description (Units, total), Reference Sheet(s)* (Sheet #). Includes items like Infiltration Basin/Trench, Dry Well, Permeable pavers, Rain Tank(s), Cistern, Flow thru Planter(s), Biofiltration, Vegetative Swale, Catch Basin Filter, Trench Drain Filter, Down Spout Filter, and SUMP Pump.

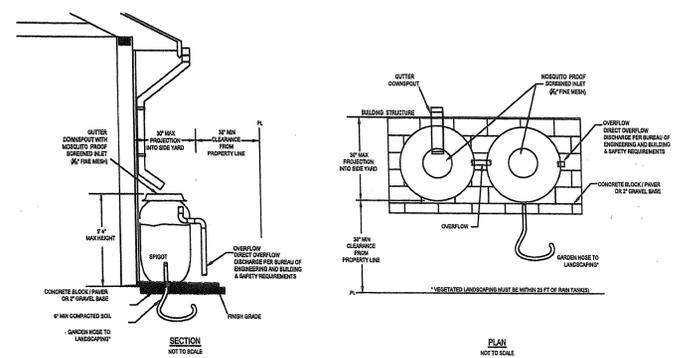
* At a minimum: Site Plan, Architectural Elevations, Roof Plan, Civil Sheets and Detail



- NOTES: 1. SITE SOILS SHALL HAVE ADEQUATE DRAINAGE... 2. INFILTRATION SHALL NOT CAUSE GEOTECHNICAL HAZARDS... 3. IF INFILTRATION HAZARDS ARE A CONCERN... 4. ANY OVERFLOW SHALL BE DISCHARGED... 5. SLOPE IS NOT GREATER THAN 3 PERCENT... 6. FLOW DIRECTED TO PERMEABLE PAVEMENT... 7. PRE-FABRICATED PRODUCTS... 8. SEE PERMEABLE PAVERS FACT SHEET...

REVISED 5/10/16 PERMEABLE PAVERS FOR SMALL SCALE RESIDENTIAL

PAVERS DETAIL N.T.S.



- NOTES: 1. SCREENS ARE PRESENT ON ALL RAIN TANK INLETS... 2. INFILTRATION TANKS SHALL NOT BE PLACED ON SLOPED SURFACES... 3. OVERFLOW OUTLET IS PROVIDED... 4. RAIN TANKS MUST BE OPAQUE AND DARK IN COLOR... 5. RAIN TANK PLACEMENT ALLOWS EASY ACCESS FOR REGULAR MAINTENANCE...

RAIN TANK DETAIL N.T.S. FOR SMALL SCALE RESIDENTIAL



STORMWATER OBSERVATION REPORT (SOR) FORM Only to be used for Single Family Residences (4 units or less, <10,000 SF, <2,500 SF within a ESA) LOW IMPACT DEVELOPMENT



IN THE EVENT THAT THE APPROVED STORMWATER BMP CANNOT BE BUILT PER PLANS (OR ANY MODIFICATION), CONSULT WITH BUREAU OF SANITATION STAFF PRIOR TO ANY PLAN MODIFICATIONS. FAILURE TO DO SO MAY DELAY OBTAINING A FINAL APPROVAL AND CERTIFICATE OF OCCUPANCY (C OF O).

STORMWATER OBSERVATION means the visual observation of the stormwater related Best Management Practices (BMPs) for conformance with the approved LID Plan at significant construction stages and at completion of the project.

STORMWATER OBSERVATION must be performed by the contractor responsible for the approved LID Plan or designated staff in their employment. Homeowner can also perform the Stormwater Observation if no licensed contractor was involved.

STORMWATER OBSERVATION REPORT (SOR) must be signed by the contractor responsible for the approved LID Plan and submitted to the City prior to the issuance to the certificate of occupancy.

Form with fields for Project Address, Building Permit No., Contractor / Architect / Engineer responsible for construction of best management practices per approved LID Plan, and Phone Number.

I declare that the following statements are true to the best of my knowledge: 1. I am responsible for the approved LID Plan, and 2. I, or designated staff under my responsible charge, have performed the required site visits at each significant construction stage and at completion to verify that the best management practices as shown on the approved plan have been constructed and installed in accordance with the approved LID Plan.

Signature, Date, Contractor/Architect/Engineer License

Design Criteria and Considerations (check all that apply)

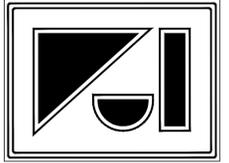
- Screens are present on all rain tank inlets to remove debris and larger particles... Rain tank(s) is properly cited on a stable surface... Overflow outlet is provided and designed to direct overflow discharge per LADBS and BOE requirements... Rain tanks must flow via gravity or obtain LA County Health approval...

Operations and Maintenance (check all that apply)

- Rain tank components will be inspected 4 times annually following major storm events... Where possible, effective energy dissipation and uniform flow spreading methods will be used to prevent erosion and aid dispersion... Rain gutters will be inspected and cleaned at least twice annually.

- Rain Tank Suppliers (The City does not endorse any specific product or vendor): Bushman Rain Tanks, Rain Tank Depot, Plastic Mart, Graf Rain Tanks, Home Depot, Lowes, Rain Harvest.

Owner Certification: As the owner of the project property, I hereby certify that the above information is true, accurate, and complete, to the best of my knowledge.



VALENTINE JANEV ARCHITECT, INC.

B.A., B. ARCH., M.A.I.B.C., M.R.A.I.C., A.I.A.

ARCHITECTURE PLANNING CONSTRUCTION MANAGEMENT

19261 Wells Drive, Tarzana, Ca 91356

Phone (818) 222-0601

PROJECT: CURSON - 3 VILLAS

2036 - 2034 S. CURSON AVE., LOS ANGELES, CA. 90016

OWNER: THE NIK GROUP

12501 CHANDLER BLVD. SUITE 204 VALLEY VILLAGE, CA. 91607

SHEET TITLE: LOW IMPACT DEVELOPMENT PLAN

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VOID WITHOUT SIGNATURE AND SEAL

Table with columns: PRE-CONSTRUCTION, CONSTRUCTION, ISSUED FOR, DATE, REV, SUBJECT, DATE.

DRAWN: CHECKED: DATE: SCALE: JOB NO: SHEET NUMBER:

LID-2

**DEPARTMENT OF
CITY PLANNING**

COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN
PRESIDENT

VAHID KHORSAND
VICE-PRESIDENT

DAVID H. J. AMBROZ
CAROLINE CHOE

HELEN LEUNG

KAREN MACK

MARC MITCHELL

VERONICA PADILLA-CAMPOS

DANA M. PERLMAN

**CITY OF LOS ANGELES
CALIFORNIA**



ERIC GARCETTI
MAYOR

EXECUTIVE OFFICES

200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

VINCENT P. BERTONI, AICP
DIRECTOR

KEVIN J. KELLER, AICP
EXECUTIVE OFFICER

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

TRICIA KEANE
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

Decision Date: April 29, 2021

Appeal End Date: May 9, 2021

Michael Nikravesh (O)
Cane Corso, LLC
337 South Robertson Boulevard,
Beverly Hills, CA 90211

Rivka Weiss (A)(R)
337 South Robertson Boulevard
Beverly Hills, CA 90211

Case No.: AA-2020-6489-PMLA-SL
Address: 2034 – 2036 South Curson Avenue
Planning Area: West Adams - Baldwin Hills -
Leimert
Zone : RD2-1
D.M. : 126B177
C.D. : 10 – Mark Ridley Thomas
CEQA : ENV-2020-6490-CE

Legal Description: Lot 60 Tract TR 5770

In accordance with provisions of Section 17.03 and Section 12.22.C.27 of the Los Angeles Municipal Code (LAMC), the Advisory Agency determined based on the whole of the administrative record that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines 15332, Class 32 (Infill Development) and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies, and approved Parcel Map No. AA-2020-6489-PMLA-SL-HCA located at 2034 – 2036 Curson Avenue, to subdivide one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot homes with 4 covered on-site parking spaces in the RD2-1 zone. Lots 1 and 2 will have two (2) covered parking spaces per lot and roof decks in the RD2-1 zone, pursuant to the Los Angeles Municipal Code (LAMC) Section 17.51, as shown on map stamp-dated October 28, 2020 in the West Adams - Baldwin Hills - Leimert Community Plan. This unit density is based on the RD2-1 Zone. (The subdivider is hereby advised that the LAMC may not permit this maximum approved density. Therefore, verification should be obtained from the Department of Building and Safety which will legally interpret the Zoning Code as it applies to this particular property.) For an appointment with the Development Services Center call (213) 482-7077 or (818) 374-5050. The Advisory Agency's approval is subject to the following conditions:

NOTE on clearing conditions: When two or more **agencies** must clear a condition, subdivider should follow the sequence indicated in the condition. For the benefit of the applicant, subdivider shall maintain record of all conditions cleared, including all material supporting clearances and be prepared to present copies of the clearances to each reviewing agency as may be required by its staff at the time of its review.

BUREAU OF ENGINEERING - SPECIFIC CONDITIONS

1. That if this parcel map is approved as "Small Lot Subdivision" then, if necessary for street address purposes, all the common access to this subdivision be named on the final map satisfactory to the City Engineer.
2. That if this parcel map is approved as small lot subdivision then the final map be labeled as "Small Lot Subdivision per Ordinance No. "185462" satisfactory to the City Engineer.
3. That all common access easements including the vehicular access and pedestrian access easement be part of the adjoining lots.
4. That, if necessary, public sanitary sewer easements be dedicated on the final map based on an alignment approved by the Central Engineering District Office.
5. That, if necessary, the owners of the property record an agreement satisfactory to the City Engineer that they will provide name signs for the common access driveways.
6. That the subdivider make a request to the Central District Office of the Bureau of Engineering to determine the capacity of existing sewers in this area.
7. That all pedestrian common access easements be shown on the final map.

Any questions regarding this report should be directed to Julia Li of the Permit Case Management Division, located at 201 North Figueroa Street, Suite 290, or by calling (213) 808-8917.

DEPARTMENT OF BUILDING AND SAFETY, GRADING DIVISION

8. Prior to the issuance of any permit, secure approval from the Division of Land Unit of the Department of City Planning for the proposed lot split and residential development of the property. The Division of Land Unit of the Planning Department is located in City Hall, 200 N. Spring Street, Room# 750 - Phone (213) 978-1362.
9. Retaining walls are not approved in this letter. In the event retaining walls are proposed, a supplemental report including design recommendations and calculations, plan and cross sections showing the location of the retaining walls shall be submitted to the Grading Division for review.
10. The soils engineer shall review and approve the detailed plans prior to issuance of any permit. This approval shall be by signature on the plans that clearly indicates the soils engineer has reviewed the plans prepared by the design engineer; and, that the plans included the recommendations contained in their reports (7006.1).
11. All recommendations of the report that are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
12. A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans (7006.1). Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit.
13. A grading permit shall be obtained for all structural fill (106.1.2).

14. All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density. Placement of gravel in lieu of compacted fill is only allowed if complying with LAMC Section 91.7011.3.
15. If import soils are used, no footings shall be poured until the soils engineer has submitted a compaction report containing in-place shear test data and settlement data to the Grading Division of the Department; and, obtained approval (7008.2).
16. Compacted fill shall extend beyond the footings a minimum distance equal to the depth of the fill below the bottom of footings or a minimum of three feet whichever is greater (7011.3).
17. Existing uncertified fill shall not be used for support of footings, concrete slabs or new fill (1809.2, 7011.3).
18. Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction (7013.12).
19. Grading shall be scheduled for completion prior to the start of the rainy season, or detailed temporary erosion control plans shall be filed in a manner satisfactory to the Grading Division of the Department and the Department of Public Works, Bureau of Engineering, B-Permit Section, for any grading work in excess of 200 cubic yards (7007.1).

201 N. Figueroa Street 3rd Floor, LA (213) 482-7045
20. All loose foundation excavation material shall be removed prior to commencement of framing (7005.3).
21. The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the General Safety Orders of the California Department of Industrial Relations (3301.1).
22. Temporary excavations that remove lateral support to the public way, adjacent property, or adjacent structures shall be constructed using ABC slot cuts, as recommended. Note: Lateral support shall be considered to be removed when the excavation extends below a plane projected downward at an angle of 45 degrees from the bottom of a footing of an existing structure, from the edge of the public way or an adjacent property (3307.3.1).
23. Where any excavation, not addressed in the approved reports, would remove lateral support (as defined in 3307.3.1) from a public way, adjacent property or structures, a supplemental report shall be submitted to the Grading Division of the Department containing recommendations for shoring, underpinning, and sequence of construction. Shoring recommendations shall include the maximum allowable lateral deflection of shoring system to prevent damage to adjacent structures, properties and/or public ways. Report shall include a plot plan and cross-section(s) showing the construction type, number of stories, and location of adjacent structures, and analysis incorporating all surcharge loads that demonstrate an acceptable factor of safety against failure (7006.2 & 3307.3.2).
24. Prior to the issuance of any permit that authorizes an excavation where the excavation is to be of a greater depth than are the walls or foundation of any adjoining building or structure and located closer to the property line than the depth of the excavation, the owner of the subject site

shall provide the Department with evidence that the adjacent property owner has been given a 30-day written notice of such intent to make an excavation (3307.1).

25. Unsurcharged temporary excavations over 5 feet exposing soil shall be trimmed back at a gradient not exceeding 1:1, as recommended.
26. Surcharged ABC slot-cut method may be used for temporary excavations with each slotcut not exceeding 5 feet in height and not exceeding 8 feet in width, as recommended. The surcharge load shall not exceed the value given in the report. The soils engineer shall determine the clearance between the excavation and the existing foundation. The soils engineer shall verify in the field if the existing earth materials are stable in the slot-cut excavation. Each slot shall be inspected by the soils engineer and approved in writing prior to any worker access.
27. All foundations shall derive entire support from properly placed compacted fill a minimum of 3 feet thick, as recommended and approved by the soils engineer by inspection. Footings supported on approved compacted fill or expansive soil shall be reinforced with a minimum of four (4), ½-inch diameter (#4) deformed reinforcing bars. Two (2) bars shall be placed near the bottom and two (2) bars placed near the top of the footing.
28. The foundation/slab design shall satisfy all requirements of the Information Bulletin P/BC 2017-116 "Foundation Design for Expansive Soils" (1803.5.3).
29. Slabs placed on approved compacted fill shall be at least 4 inches thick as recommended and shall be reinforced with ½-inch diameter (#4) reinforcing bars spaced a maximum of 16 inches on center each way.
30. Concrete floor slabs placed on expansive soil shall be placed on a 4-inch fill of coarse aggregate or on a moisture barrier membrane. The slabs shall be at least 4 inches thick as recommended and shall be reinforced with ½-inch diameter (#4) reinforcing bars spaced a maximum of 16 inches on center each way.
31. The seismic design shall be based on a Site Class D, as recommended. All other seismic design parameters shall be reviewed by LADBS building plan check. According to ASCE 7-16 Section 11.4.8, the long period coefficient (F_v) may be selected per Table 11.4-2 in ASCE 7-16, provided that the value of the Seismic Response Coefficient (C_s) is determined by Equation 12.8-2 for values of the fundamental period of the building (T) less than or equal to $1.5T_s$, and taken as 1.5 times the value computed in accordance with either Equation 12.8-3 for T greater than $1.5T_s$ and less than or equal to T_L or Equation 12.8-4 for T greater than T_L . Alternatively, a supplemental report containing a site-specific ground motion hazard analysis in accordance with ASCE 7-16 Section 21.2 shall be submitted for review and approval.
32. The structure shall be connected to the public sewer system per P/BC 2020-027.
33. All roof, pad and deck drainage shall be conducted to the street in an acceptable manner in non-erosive devices or other approved location in a manner that is acceptable to the LADBS and the Department of Public Works (7013.10).
34. An on-site storm water infiltration system at the subject site shall not be implemented, as recommended.
35. All concentrated drainage shall be conducted in an approved device and disposed of in a manner approved by the LADBS (7013.10).

36. The soils engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading (7008, 1705.6 & 1705.8).
37. Prior to pouring concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the work inspected meets the conditions of the report. No concrete shall be poured until the LAD BS Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Grading Division of the Department upon completion of the work (108.9 & 7008.2).
38. Prior to excavation an initial inspection shall be called with the LADBS Inspector. During the initial inspection, the sequence of construction; ABC slot cuts; protection fences; and, dust and traffic control will be scheduled (108.9.1).
39. Slot cutting shall be performed under the inspection and approval of the soils engineer and deputy grading inspector (1705.6, 1705.8).
40. Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the soil inspected meets the conditions of the report. No fill shall be placed until the LADBS Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal description as indicated in the grading permit and the permit number shall be included (7011.3).
41. No footing/slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.

DEPARTMENT OF BUILDING AND SAFETY, ZONING DIVISION

42. Obtain permits for the demolition or removal of all existing structures on the site. Accessory structures and uses are not permitted to remain on lots without a main structure or use. Provide copies of the demolition permits and signed inspection cards to show completion of the demolition work.
43. A minimum 15 ft. front yard setback is required for Proposed Parcel 1 as measured along Curson Avenue after the required dedication is taken as required for the RD2 Zone. Revised the map to correct the required front yard setback or obtain approval from City Planning/Advisory Agency for a reduced front yard setback.
44. Show all street dedication as required by Bureau of Engineering and provide net lot area after all dedication. "Area" requirements shall be re-checked as per net lot area after street dedication. A minimum 5,000 SF lot area is required after required dedication is taken as required for the RD2 Zone. Front yard requirement shall be required to comply with current code as measured from new property line after all dedication.

45. Dimension the reciprocal private easement for pedestrian and driveway egress and ingress, back up space, drainage, and utilities on the final map.

Notes:

Any proposed structures or uses on the site have not been checked for and shall comply with Building and Zoning Code requirements. Plan check will be required before any construction, occupancy or change of use.

Parking spaces are not allowed to backup onto a public street when the driveway is serving more than dwelling units. Comply with the above requirement at the time of Plan Check or obtain City Planning approval.

Backup space for parking space with less than 26'-8" shall provide sufficient parking stall width and garage door opening width to comply with the current Zoning Code requirement. Comply with the above requirement at the time of Plan Check or obtain City Planning approval.

An appointment is required for the issuance of a clearance letter from the Department of Building and Safety. The applicant is asked to contact Laura Duong at (213) 482-0434 to schedule an appointment.

DEPARTMENT OF FIRE, ENGINEERING AND HYDRANT UNIT

46. Access for Fire Department apparatus and personnel to and into all structures shall be required.
47. Address identification. New and existing buildings shall have approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
48. One or more Knox Boxes will be required to be installed for LAFD access to project. Location and number to be determined by LAFD Field Inspector. (Refer to FPB Req # 75).
49. The entrance or exit of all ground dwelling units shall not be more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
50. Where above ground floors are used for residential purposes, the access requirement shall be interpreted as being the horizontal travel distance from the street, driveway, alley, or designated fire lane to the main entrance of individual units.
51. No building or portion of a building shall be constructed more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
52. The following recommendations of the Fire Department relative to fire safety shall be incorporated into the building plans, which includes the submittal of a plot plan for approval by the Fire Department either prior to the recordation of a final map or the approval of a building permit. The plot plan shall include the following minimum design features: fire lanes, where required, shall be a minimum of 20 feet in width; all structures must be within 300 feet of an approved fire hydrant, and entrances to any dwelling unit or guest room shall not be more than 150 feet in distance in horizontal travel from the edge of the roadway of an improved street or approved fire lane.

53. The Fire Department may require additional roof access via parapet access roof ladders where buildings exceed 28 feet in height, and when overhead wires or other obstructions block aerial ladder access.
54. The Fire Department may require additional vehicular access where buildings exceed 28 feet in height.
55. Smoke Vents may be required where roof access is not possible; location and number of vents to be determined at Plan Review.
56. Site plans shall include all overhead utility lines adjacent to the site.
57. Any roof elevation changes in excess of 3 feet may require the installation of ships ladders.
58. Provide Fire Department pathway front to rear with access to each roof deck via gate or pony wall less than 36 inches.
59. Where rescue window access is required, provide conditions and improvements necessary to meet accessibility standards as determined by the Los Angeles Fire Department.
60. Any required fire hydrants to be installed shall be fully operational and accepted by the Fire Department prior to any building construction.
61. Adequate off-site public and on-site private fire hydrants may be required. Their number and location to be determined after the Fire Department's review of the plot plan.
62. The applicant is further advised that all subsequent contact regarding these conditions must be with the Hydrant and Access Unit. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished **BY APPOINTMENT ONLY**, in order to assure that you receive service with a minimum amount of waiting please call **(213) 482-6543**. You should advise any consultant representing you of this requirement as well.

BUREAU OF STREET LIGHTING

63. No street lighting improvements if no street widening per BOE improvement conditions . Otherwise, remove and reinstall existing conduit behind new curb and gutter on Curson Ave.

Notes:

The quantity of streetlights identified may be modified slightly during the plan check process based on illumination calculations and equipment selection.

DEPARTMENT OF RECREATION AND PARKS

Pursuant to Los Angeles Municipal Code sections 12.33.E and 19.17, Recreation and Parks recommends the following be added as a condition of the approval of AA-2020-6489-PMLA-SL-HCA:

64. That the Park Fee paid to the Department of Recreation and Parks be calculated as a Subdivision (Quimby in-lieu) fee.

BUREAU OF SANITATION

65. Bureau of Sanitation has reviewed the sewer/storm drain lines serving the subject parcels/areas and found no potential problems to our structures and/or potential maintenance issues.

Note:

This Approval is for the Parcel Map only and represents the office of LA Sanitation/CW/CDDs. The applicant may be required to obtain other necessary Clearances/Permits from LA Sanitation and appropriate District office of the Bureau of Engineering. If you have any questions, please contact Rafael Yanez at (323) 342-1563.

DEPARTMENT OF CITY PLANNING – SITE SPECIFIC CONDITIONS

66. Prior to the recordation of the final map, the subdivider shall prepare and execute a Covenant and Agreement (Planning Department General Form CP-6770) in a manner satisfactory to the Planning Department, binding the subdivider and all successors to the following:
- a. Limit the proposed development to a maximum of two (2) small lot homes.
 - b. Provide a minimum of two off-street parking spaces per dwelling unit, (Note: One space may be a compact space. Tandem parking is allowable.).
 - c. That a solar access report shall be submitted to the satisfaction of the Advisory Agency prior to obtaining a grading permit.
 - d. That the subdivider consider the use of natural gas and/or solar energy and consult with the Department of Water and Power and Southern California Gas Company regarding feasible energy conservation measures.
 - e. That prior to issuance of a certificate of occupancy, a minimum 6-foot-high slumpstone or decorative masonry wall shall be constructed adjacent to neighboring residences, if no such wall already exists, except in required front yard.
 - f. Outdoor lighting shall be designed and installed with shielding, such that the light source cannot be seen from adjacent residential properties or the public right-of-way.
 - g. A Maintenance Association shall be formed, composed of all property owners, to maintain all common areas such as trees, landscaping, community driveway, walkways, monthly service for private fire hydrant (if required), etc. Each owner and future property owners shall automatically become members of the association and shall be subject to a proportionate share of the maintenance. The Maintenance Association shall be recorded as a Covenant and Agreement to run with the land. The subdivider shall submit a copy of this Agreement, once recorded to the Planning Department for placement in the parcel file.
 - h. Copies of all recorded Covenant and Agreement(s) for all reciprocal private easements shall be submitted to the Planning Department for placement in the parcel file.

Note to City Zoning Engineer and Plan Check. The Advisory Agency has approved the following variations from the Los Angeles Municipal Code as it applies to this subdivision and the proposed development on the site. Approved Variations as follows:

(i) The project shall comply with the setbacks as indicated in the table below.

Setbacks				
Parcel	Front	Side	Side	Rear
1	15'	5'	5'	11'
2	12'	5'	5'	10'

Minor deviations to the approved setbacks are allowed in the event that such deviations are necessary in order to accommodate other conditions of approval as required by other City agencies.

(ii) Vehicular access will be via Buckingham Road.

i. INDEMNIFICATION AND REIMBURSEMENT OF LITIGATION COSTS.

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City’s processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City’s processing and approval of the entitlement, including but not limited to payment of all court costs and attorney’s fees, costs of any judgments or awards against the City (including an award of attorney’s fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City’s litigation costs to the City within 10 days’ notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney’s Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City’s failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City’s interests. The City’s failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City’s interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably

cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Action includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

DEPARTMENT OF CITY PLANNING-STANDARD SMALL LOT CONDITIONS

SL-1. That approval of this tract constitutes approval of model home uses, including a sales office and off-street parking. If models are constructed under this tract approval, the following conditions shall apply:

1. Prior to recordation of the final map, the subdivider shall submit a plot plan for approval by the Division of Land Section of the Department of City Planning showing the location of the model dwellings, sales office and off-street parking. The sales office must be within one of the model buildings.
2. All other conditions applying to Model Dwellings under Section 12.22-A, 10 and 11 and Section 17.05-0 of the LAMC shall be fully complied with satisfactory to the Department of Building and Safety.

SL-2. Prior to obtaining any grading or building permits before the recordation of the final map, a landscape plan shall be prepared by a licensed landscape architect, be submitted to and approved by the Advisory Agency in accordance with CP-6730. The landscape plan shall identify tree replacement on a 1:1 basis by a minimum of 24-inch box trees for the unavoidable loss of desirable trees on the site and shall include the following features. In the event the subdivider decides not to request a permit before the recordation of the final map, a covenant and agreement satisfactory to the Advisory Agency guaranteeing the submission of such plan before obtaining any permit shall be recorded.

BUREAU OF ENGINEERING - STANDARD CONDITIONS

S-3(i). That the following improvements be either constructed prior to recordation of the final map or that the construction be suitably guaranteed:

- (a) Improve Curson Avenue adjoining the subdivision by the removal of the existing curb and sidewalk; and construction of a new integral concrete curb and gutter at the existing curb face and a new 5-foot wide concrete sidewalk and landscaping of the parkway; including any necessary removal and reconstruction of existing improvements.
- (b) Construct the necessary on-site mainline and house connection sewers satisfactory to the City Engineer.

Notes: The Advisory Agency approval is the maximum number of units permitted under the parcel action. However the existing or proposed zoning may not permit this number of units. This vesting map does not constitute approval of any variations from the Los Angeles Municipal Code (LAMC), unless approved specifically for this project under separate conditions.

Any removal of the existing street trees shall require Board of Public Works approval.

Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power, Power System, to pay for removal, relocation, replacement or adjustment of power facilities due to this development. The subdivider must make arrangements for the underground installation of all new utility lines in conformance with Section 17.05-N of the LAMC.

The final map must be recorded within 36 months of this approval, unless a time extension is granted before the end of such period.

The Advisory Agency hereby finds that this parcel conforms to the California Water Code, as required by the Subdivision Map Act.

The subdivider should consult the Department of Water and Power to obtain energy saving design features which can be incorporated into the final building plans for the subject development. As part of the Total Energy Management Program of the Department of Water and Power, this no-cost consultation service will be provided to the subdivider upon his request.

FINDINGS OF FACT (CEQA)

DETERMINED based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332, Class 32 (Infill Development Projects), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

Class 32 consists of projects characterized as in-fill development which meet the conditions described below:

- (a) *The project is consistent with the applicable General Plan Designation and all applicable General Plan Policies as well as with applicable Zoning Designation and Regulations.*

The project site is located within the West Adams - Baldwin Hills - Leimert Community Plan with a Low Medium II Residential land use designation with corresponding zone RD1.5 and RD2. The subject property is zoned RD2-1. The proposed subdivision is for one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot single family homes. Lots 1 and 2 will have two (2) covered parking spaces per lot and one (1) roof deck on each lot, which is consistent with the zone and land use designation.

- (b) *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.*

The proposed development is wholly within the City of Los Angeles, on an approximately 0.161 acre site (i.e., less than five acres). Properties adjacent to the north are zoned RD2-1 and developed with a single-story single-family dwelling. The adjacent properties to the north, south, east, and west (across Curson Avenue) are zoned RD2-1 as well. These are developed with a variety of single- and multi-family dwelling, ranging from one to two stories tall.

- (c) *The project sites have no value as habitat for endangered, rare or threatened species.*

The site is not a wildland area, and is not inhabited by endangered, rare, or threatened species. The immediate vicinity is highly urbanized and is comprised of dense residential development with nearby commercial corridors. NavigateLA and the Los Angeles City Planning Department's Environmental and Public Facilities map for Significant Ecological Areas show that the subject site is not located in any of these areas.

- (d) *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.*

As the site is currently developed with a single-family residence and the project proposes the construction of two (2) small lots the project would be compatible with the surrounding neighborhood and would not result in significant effects relating to traffic, noise, air quality or water quality.

The project is beneath the threshold criteria established by LADOT for preparing a traffic study. Therefore, the project will not have any significant impacts to traffic. The project will not result in significant impacts related to air quality because it falls below interim air threshold established by Department of City Planning (DCP) staff. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. More specifically, RCMs include but are not limited to:

- **Regulatory Compliance Measure RC-AQ-1(Demolition, Grading and Construction Activities): Compliance with provisions of the SCAQMD District Rule 403.** The project shall comply with all applicable standards of the Southern California Air Quality Management District, including the following provisions of District Rule 403:
 - All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
 - The construction area shall be kept sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.
 - All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
 - All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.

- All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust.
- General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.
- Trucks having no current hauling activity shall not idle but be turned off.
- **Regulatory Compliance Measure RC-GEO-1 (Seismic):** The design and construction of the project shall conform to the California Building Code seismic standards as approved by the Department of Building and Safety.
- **Regulatory Compliance Measure RC-NO-1 (Demolition, Grading, and Construction Activities):** The project shall comply with the City of Los Angeles Noise Ordinance and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.
- **Regulatory Compliance Measure RC-NO-1 (Demolition, Grading, and Construction Activities):** The project shall comply with the City of Los Angeles Noise Ordinance and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.

These RCMs will reduce any potential impacts to less than significant and will ensure the project will not have significant impacts on noise and water.

- (e) *The site can be adequately served by all required utilities and public services.*

The project site will be adequately served by all required public utilities and services given that the proposed construction of two (2) small lots will be located on a site currently developed and zoned for such a use and density. The project is consistent with the type of development permitted for the areas zoned RD2-1 and designated Low Medium II Residential land use. Based on the facts herein, the project meets the qualifications of the Class 32 Exemption.

The City has further considered whether the proposed project is subject to any of the five (5) exceptions that would prohibit the use of any of a categorical exemption as set forth in State CEQA Guidelines Section 15300.2. None of the exceptions apply for the following reasons:

- (a) **Cumulative Impacts.** *All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.*

The project is consistent with the type of development permitted for the areas zoned RD2-1 and designated Low Medium II Residential land use. The project site is currently developed with a single-family residence proposed to be demolished. Given the proposed project is for 2 dwelling units, that equates to a net increase of one (1) dwelling unit. On July 19, 2018 the Advisory Agency approved a small lot subdivision for the construction, use and maintenance of two (2) small lot single family homes at 2022 South Curson Avenue. On November 11, 2019 the Advisory Agency approved a small lot subdivision for the construction, use and maintenance of two (2) small lot single family homes at 1918 South Curson Avenue. No other subdivision has been developed near the subject site within the last thirteen years.

As such, the addition of two (2) small lots will not significantly impact the area. Therefore, no foreseeable cumulative impacts from small-lot developments are expected.

- (b) **Significant Effect.** *A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.*

The proposed project consists of development typical to a residential neighborhood; no

unusual circumstances are present or foreseeable. The site is zoned RD2-1. The property is currently developed with a single-family residence proposed to be demolished, and is located within the West Adams - Baldwin Hills - Leimert Community Plan, which designates the site for Low Medium II Residential land uses. The proposed subdivision is for one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot single family homes. Lots 1 and 2 will have two (2) covered parking spaces per lot and one (1) roof deck on each lot, which is consistent with the zone and land use designation.

Properties adjacent to the north, south, and east are zoned RD2-1 and developed with a single-story and double story multi-family dwellings. Properties to the west (across Curson Avenue) are zoned RD2-1 as well. These are developed with a variety of single- and multi-family dwelling, ranging from one to two stories tall. The site is not in a wildland area, and is not inhabited by endangered, rare, or threatened species. Thus, there are no unusual circumstances that may lead to a significant effect on the environment.

- (c) **Scenic Highways.** *A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

According to the Caltrans' Scenic Highway Routes Map, the subject site is not in a designated state scenic highway. Therefore, the proposed project will not result in damage to scenic resources, including trees, historic buildings, rock outcroppings, or similar resources within an officially designated state scenic highway.

- (d) **Hazardous Waste Sites.** *A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.*

The project site is not listed on EnviroStor, the Department of Toxic Substances Control's online database for hazardous waste facilities and sites in California. Building permit history for the project site does not indicate that the site may be hazardous or otherwise contaminated. Therefore, this exception does not apply.

- (e) **Historical Resources.** *A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.*

The project site is not designated a historical resource by local or state agencies, and has not been determined to be eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, and the Los Angeles Historic-Cultural Monuments Register, and/or any local register. In addition, the project site is not listed in HistoricPlacesLA or SurveyLA as a potential historical resource. The proposed project would not cause an adverse change in the significance of a historical resources as defined in Section 15064.5 of the State CEQA Guidelines. Thus, the proposed project would not result in a substantial adverse change in the significance of a historical resource and this exemption does not apply.

FINDINGS OF FACT (SUBDIVISION MAP ACT)

In connection with the approval of Parcel Map No. AA-2019-7129-PMLA-SL, the Advisory Agency of the City of Los Angeles, pursuant to Sections 66473.1, 66474.60, .61 and .63 of the State of California Government Code (the Subdivision Map Act), makes the prescribed findings as follows:

- (a) THE PROPOSED MAP IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

The site is zoned RD2-1. The property is currently developed with a single-family residence proposed to be demolished and is located within the West Adams - Baldwin Hills - Leimert Community Plan, which designates the site for Low Medium II Residential land uses. The proposed subdivision is for one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot single family homes. Lots 1 and 2 will have two (2) covered parking spaces per lot and one (1) roof deck on each lot, which is consistent with the zone and land use designation. RD2-1 zoned properties require at least 2,000 square feet of lot area per dwelling unit, and a maximum height of 45 feet. The subject parcel is approximately 5,175 square feet and is therefore permitted a maximum density of 2 dwelling units.

Subdivisions that do not share a property line with an R1 or more restrictive single-family zone are required to provide a minimum 5 foot side yard setback and a minimum 10 foot rear yard setback while complying with the provisions of the underlying zone for the front yard setback per Small Lot Ordinance No. 185,462. The project proposes a 15 foot front yard, 5 foot side yards, and a 10 foot rear yard, thus complying with these provisions.

As proposed, the subject project is consistent with the Low Medium II Residential land use designation. The subject site is currently developed with a single-family residence proposed to be demolished. The small lot subdivision will meet the Goals and Objectives of the Community Plan by providing additional housing for the neighborhood and providing homeownership opportunities.

The Subdivision Map Act requires the Advisory Agency find that the proposed map be consistent with the General Plan. The Small Lot Design Guidelines allow the Advisory Agency to implement the purposes, intent, and provisions of the General Plan and its various elements, and effectively provides the Advisory Agency with the tools to make the consistency findings. The project meets the Small Lot Design Guidelines which address a project's massing, height, circulation, and compatibility with adjacent properties by promoting design and development that complements the existing neighborhood character. The project will result in a total of two dwelling units, both homes will be three-stories with a proposed height of 38 feet 9 inches, which is consistent with and does not exceed the density or height allowed by the zone. The project will also provide a minimum two parking spaces per small lot in accordance with LAMC Section 12.21.A.4.

Therefore, as conditioned, the proposed parcel map is consistent with the intent and purpose of the applicable General Plan.

- (b) THE DESIGN OR IMPROVEMENT OF THE PROPOSED SUBDIVISION IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

For the purposes of a subdivision, "design" and "improvement" is defined by Subdivision Map Act Section 66418, 66427, and LAMC Section 17.02. Pursuant to Section 66418 of the Map Act, "design" of a map refers to street alignments, grades and widths; drainage and sanitary facilities and utilities, including alignments and grades thereof; location and size of all required easements and rights-of-way; fire roads and firebreaks; lot size and configuration; traffic access; grading; land to be dedicated for park or recreational purposes; and other such specific physical requirements in the plan and configuration of the entire subdivision as may be necessary to ensure consistency with, or implementation of, the general plan or any applicable specific plan. In addition, Section 66427 of the Map Act expressly states that the "design and location of

buildings are not part of the map review process” for subdivisions. Improvements, as defined by the Map Act and Section 17.02 refers to the infrastructure facilities serving the subdivision.

The subject site is zoned RD2-1, which would permit a maximum of 2 dwelling units and a maximum height of 45 feet on the approximately 5,175 square-foot site. The proposed project for a 2-lot small lot subdivision for small lot homes with a maximum height of 42 feet 9 inches to the top of the roof access staircase, is consistent with the density and height permitted by the zone and land use designation. Access is provided via Curson Avenue through a shared driveway. The setback matrix, as conditioned, will ensure the project meets the setback requirements of LAMC Section 12.22.C.27.

In addition, LAMC Section 17.05.C enumerates design standards for subdivisions and requires that each subdivision map be designed in conformance with the Street Design Standards and the General Plan. The design and layout of the parcel map are consistent with the design standards established by the Subdivision Map Act and Division of Land Regulations of the LAMC. The Parcel map was distributed to the various departments and bureaus of the Subdivision Committee for review, and their comments and conditions are included herein.

The Bureau of Engineering has reviewed the proposed subdivision and found the subdivision layout generally satisfactory with existing sewers in the streets adjoining the subdivision and will not result in violation of the California Water Code. The Bureau of Sanitation reviewed the sewer/storm drain lines serving the proposed subdivision and found no potential problems to their structures or potential maintenance problems.

Therefore, as conditioned, the proposed map is substantially consistent with the applicable General and Specific Plans affecting the project site, and demonstrates compliance with LAMC Sections 17.01, 17.05 C, and 12.22.C.27.

(c) THE SITE IS PHYSICALLY SUITABLE FOR THE TYPE OF DEVELOPMENT.

The project site consists of one rectilinear lot totaling approximately 5,175 square feet in area. The site has approximately 45 feet of frontage along the east side of Curson Avenue. The site is zoned RD2-1. The property is currently developed with a single-family residence proposed to be demolished as a part of the project and is located within the West Adams – Baldwin Hills – Leimert Community Plan, which designates the site for Low Medium II Residential. The existing topography is flat, with no change in elevation from the front of the property to the rear. Subdivisions that do not share a property line with an R1 or more restrictive single-family zone are required to provide a minimum 5 foot side yard setback and a minimum 5 foot rear yard setback when abutting an alley, while complying with the provisions of the underlying zone for the front yard setback per Small Lot Ordinance No. 185,462. The small lots will maintain a 15-foot front yard setback, a 10-foot rear yard setback and 5-foot side yard setbacks along the perimeter of the parcels. The proposed project is an infill development in a neighborhood that has multi-family and single-family development. The access easement is adequate for vehicular ingress and egress and emergency purposes.

The Parcel map was distributed to the various departments and bureaus of the Subdivision Committee for review. Their comments are incorporated into the project’s conditions of approval. The Grading Division of the Department of Building and Safety has reviewed the subject Parcel Map No. AA-2020-6489-PMLA-SL-HCA, which included a soils report, dated September 25, 2020, demonstrating that the site is located in a designated liquefaction hazard zone as shown on the Seismic Hazard Zones map issued by the State of California. The report, mentioned in the Grading Division’s memo as a preface to their conditions, dated October 26, 2020, demonstrates that the site soils are not subject to liquefaction.

The requirements of the 2020 City of Los Angeles Building Code have been satisfied. The property is located outside of a City of Los Angeles Hillside Area; is exempt or located outside of a fault-rupture hazard zone. A supplemental report shall be submitted to the Grading Division of the Department containing recommendations for shoring, underpinning, and sequence of construction in the event that any excavation would remove lateral support to the public way, adjacent property, or adjacent structures (3307.3). A plot plan and cross-section(s) showing the construction type, number of stories, and location of the structures adjacent to the excavation shall be part of the excavation plans (7006.2).

Therefore, the project site is physically suitable for the proposed type of development.

(d) THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF DEVELOPMENT.

The development of this parcel is an infill of a multiple-family residential neighborhood. Properties adjacent to the north, south, and east are zoned RD2-1 and developed with a single-story and double story multi-family dwellings. Properties to the west (across Curson Avenue) are zoned RD2-1 as well. These are developed with a variety of single- and multi-family dwelling, ranging from one to two stories tall.

The proposed subdivision is for one (1) lot, totaling 5,175 square-feet into two (2) lots for the construction, use and maintenance of two (2) small lot single family homes. Lots 1 and 2 will have two (2) covered parking spaces per lot and one (1) roof deck on each lot, which is consistent with the zone and land use designation. RD2-1 zoned properties require at least 2,000 square feet of lot area per dwelling unit, and a maximum height of 45 feet. The subject parcel is approximately 5,175 square feet and is therefore permitted a maximum density of 2 dwelling units. The proposed density is equal to the maximum density allowed by the zone and is consistent with the land use designation of the site. The proposed project for a two-lot subdivision for two small lot homes with a maximum height of 42 feet 9 inches to the top of the roof access staircase. As proposed, the project is consistent with and does not exceed the 75 percent maximum lot coverage required by Small Lot Ordinance No. 185,462, or 45-foot height required by the zone. Additionally, prior to the issuance of a demolition, grading, or building permit, the project would be required to comply with conditions herein and applicable requirements of the LAMC. As conditioned, the proposed parcel map is physically suitable for the proposed density of the development.

(e) THE DESIGN OF THE SUBDIVISION OR THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OR SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.

The subject site and surrounding properties are fully developed and there are no wildlife habitats in proximity to the project. The project site is located within an urbanized area that is fully developed with various multi-family and single-family dwellings.

The Department of City Planning has determined that the Project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332, Class 32 (Infill Development Projects), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies (Case No. ENV-2020-6490-CE). As such, the proposed project will not cause substantial environmental damage or injury to wildlife or their habitat.

(f) THE DESIGN OF THE SUBDIVISION OR TYPE OF IMPROVEMENTS IS NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.

There appear to be no potential public health problems caused by the design or improvement of the proposed subdivision.

The development is required to be connected to the City's sanitary sewer system, where the sewage will be directed to the LA Hyperion Treatment Plant, which has been upgraded to meet statewide ocean discharge standards. The Bureau of Engineering has reported that the proposed subdivision does not violate the existing California Water Code because the subdivision will be connected to the public sewer system and will have only a minor incremental impact on the quality of the effluent from the Hyperion Treatment Plant.

- (g) THE DESIGN OF THE SUBDIVISION OR THE TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS, ACQUIRED BY THE PUBLIC AT LARGE, FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

No such easements are known to exist. Easements will be recorded with the development for community driveways. Needed public access for roads and utilities will be acquired by the City prior to the recordation of the proposed parcel.

- (h) THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES IN THE SUBDIVISION. (REF. SECTION 66473.1)

In assessing the feasibility of passive or natural heating or cooling opportunities in the proposed subdivision design, the applicant has prepared and submitted materials which consider the local climate, contours, configuration of the parcel(s) to be subdivided and other design and improvement requirements. Providing for passive or natural heating or cooling opportunities will not result in reducing allowable densities or the percentage of a lot which may be occupied by a building or structure under applicable planning and zoning in effect at the time the parcel map was filed.

The lot layout of the subdivision has taken into consideration the maximizing of the north/south orientation. The topography of the site has been considered in the maximization of passive or natural heating and cooling opportunities. In addition, prior to obtaining a building permit, the subdivider shall consider building construction techniques, such as overhanging eaves, location of windows, insulation, exhaust fans; planting of trees for shade purposes and the height of the buildings on the site in relation to adjacent development.

These findings shall apply to both the parcel and final maps for Parcel No. AA-2020-6489-SL-PMLA-HCA.

THE FOLLOWING NOTES ARE FOR INFORMATIONAL PURPOSES AND ARE NOT CONDITIONS OF APPROVAL OF THIS PARCEL MAP:

Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power, Power System, to pay for removal, relocation, replacement or adjustment of power facilities due to this development. The subdivider must make arrangements for the underground installation of all new utility lines in conformance with Section 17.05-N of the Los Angeles Municipal Code (LAMC).

Note: The above action shall become effective upon the decision date noted at the top of this letter unless an appeal has been submitted to the Central Area Planning Commission within 15 calendar days of the decision date. If you wish to file an appeal, it must be filed within 15 calendar days from the decision date as noted in this letter. For an appeal to be valid to the City Planning Commission, it must be accepted as complete by the City Planning Department and appeal fees paid, prior to expiration of the above 15-day time limit. Such appeal must be submitted on Master Appeal Form No. CP-7769 at the Department’s Public Offices, located at:

Figueroa Plaza 201 North Figueroa Street, 4 th Floor Los Angeles, CA 90012 (213) 482-7077	Marvin Braude San Fernando Valley Constituent Service Center 6262 Van Nuys Boulevard, Suite 251 Van Nuys, CA 91401 (818) 374-5050	West Los Angeles Development Services Center 1828 Sawtelle Boulevard, 2nd Floor Los Angeles, CA 90025 (310) 231-2901
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***Please note the cashiers at the public counters close at 3:30 PM.
 Appeal forms are available on-line at www.planning.lacity.org.**

Pursuant to Ordinance 176,321, effective January 15, 2005, Parcel Map determinations are only appealable to the Area Planning Commission. There is no longer a second level of appeal to the City Council for Parcel Map actions of the Advisory Agency.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedure Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City’s decision becomes final, including all appeals, if any.

No sale of separate parcels is permitted prior to recordation of the final parcel map. The owner is advised that the above action must record within 36 months of this approval, unless an extension of time is granted before the end of such period. No requests for time extensions or appeals received by mail shall be accepted.

VINCENT P. BERTONI, AICP
 Advisory Agency



Sergio Ibarra
 Deputy Advisory Agency



APPLICATIONS:

APPEAL APPLICATION

This application is to be used for any appeals authorized by the Los Angeles Municipal Code (LAMC) for discretionary actions administered by the Department of City Planning.

1. APPELLANT BODY/CASE INFORMATION

Appellant Body:

- Area Planning Commission
- City Planning Commission
- City Council
- Director of Planning

Regarding Case Number: _____

Project Address: _____

Final Date to Appeal: _____

- Type of Appeal:
- Appeal by Applicant/Owner
 - Appeal by a person, other than the Applicant/Owner, claiming to be aggrieved
 - Appeal from a determination made by the Department of Building and Safety

2. APPELLANT INFORMATION

Appellant's name (print): _____

Company: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Telephone: _____ E-mail: _____

- Is the appeal being filed on your behalf or on behalf of another party, organization or company?

Self Other: _____

- Is the appeal being filed to support the original applicant's position? Yes No

3. REPRESENTATIVE/AGENT INFORMATION

Representative/Agent name (if applicable): _____

Company: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Telephone: _____ E-mail: _____

4. JUSTIFICATION/REASON FOR APPEAL

Is the entire decision, or only parts of it being appealed? Entire Part
 Are specific conditions of approval being appealed? Yes No

If Yes, list the condition number(s) here: _____

Attach a separate sheet providing your reasons for the appeal. Your reason must state:

- The reason for the appeal
- How you are aggrieved by the decision
- Specifically the points at issue
- Why you believe the decision-maker erred or abused their discretion

5. APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true:

Appellant Signature: _____  _____ Date: 5.10.21

6. FILING REQUIREMENTS/ADDITIONAL INFORMATION

- Eight (8) sets of the following documents are required for each appeal filed (1 original and 7 duplicates):
 - Appeal Application (form CP-7769)
 - Justification/Reason for Appeal
 - Copies of Original Determination Letter
- A Filing Fee must be paid at the time of filing the appeal per LAMC Section 19.01 B.
 - Original applicants must provide a copy of the original application receipt(s) (required to calculate their 85% appeal filing fee).
- All appeals require noticing per the applicable LAMC section(s). Original Applicants must provide noticing per the LAMC, pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of the receipt.
- Appellants filing an appeal from a determination made by the Department of Building and Safety per LAMC 12.26 K are considered Original Applicants and must provide noticing per LAMC 12.26 K.7, pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of receipt.
- A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.
- Appeals of Density Bonus cases can only be filed by adjacent owners or tenants (must have documentation).
- Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the Area or City Planning Commission must be filed within 10 days of the date of the written determination of said Commission.
- A CEQA document can only be appealed if a non-elected decision-making body (ZA, APC, CPC, etc.) makes a determination for a project that is not further appealable. [CA Public Resources Code ' 21151 (c)].

This Section for City Planning Staff Use Only		
Base Fee:	Reviewed & Accepted by (DSC Planner):	Date:
Receipt No:	Deemed Complete by (Project Planner):	Date:
<input type="checkbox"/> Determination authority notified		<input type="checkbox"/> Original receipt and BTC receipt (if original applicant)

**ATTACHMENT TO APPEAL
AA-2020-6489-PMLA-SL-HCA
ENV-2020-6490-CE**

Appellants: Curson Avenue Neighbors; Alfredo Mercado.

Project: Parcel Map of two single family lots for the purposes of a Small Lot Subdivision (“Project”).

1. **The Project does not meet the Small Lot Subdivision Guidelines**

The Project seeks to “max out” the allowable building massing permitted by Code in a manner that is not compatible with the existing neighborhood. The Project fails to meet the following Small Lot Subdivision Guidelines:

- A. The Project is not context sensitive [*Guidelines*, p. 1];
- B. The design is not compatible with the existing neighborhood context [*Guidelines*, p. 6];
- C. The developer has not considered the design elements of the homes and how they will enhance the overall neighborhood character [*Guidelines*, p. 8];
- D. The characteristics of the Project do not relate to the surrounding built form, respecting the overall neighborhood character and existing topography [*Guidelines*, p. 9];
- E. The Project is not compatible with the existing neighborhood [*Guidelines*, p. 9];
- F. The Project seeks to “max out” the allowable building massing permitted by code [*Guidelines*, p. 24];
- G. The Project maintains an excessive difference in height with the adjacent buildings [*Guidelines*, p. 24];
- H. The Project is not appropriately designed and scaled to transition from the single-family properties surrounding it [*Guidelines*, p. 24];
- I. The Project does not provide functional distances between building walls and vary height to maximize private outdoor space, light and views [*Guidelines*, p. 32]; and

- J. The Project does not use environmentally-sound principles, helping to mitigate the Project's impacts on the surrounding neighborhood [*Guidelines*, p. 33].

2. The City's Findings are Not Supported by Substantial Evidence

a. The Design of the Project is not Consistent with the West Adams - Baldwin Hills - Leimert Community Plan

The Project fails to comply with the following goals of the Plan:

- A community that promotes an environment of safe, inviting, secure and high-quality single-family neighborhoods for all segments of the community.
- Ensure that single-family residential neighborhoods are maintained to be safe and inviting environments.
- Need to preserve established single-family neighborhoods.
- New construction should maintain existing low scale character.
- Strive to protect existing single-family and low density residential neighborhoods from encroachment by higher density residential and other incompatible uses.
- Seek a high degree of architectural compatibility and landscaping for new infill development as well as additions to existing structures in order to protect the character and scale of existing single-family residential neighborhoods.
- Consider factors such as neighborhood character and identity, compatibility of land uses, impact on livability, impacts on services and public facilities, and impacts on traffic levels when changes in residential densities are proposed.

b. The Project is Likely to Cause Substantial Environmental Damage

As set forth below, the Categorical Exemption is not appropriate under the California Environmental Quality Act ("CEQA"). Therefore, the Project is likely to cause substantial environmental damage.

3. The Categorical Exemption is Not Appropriate under CEQA

The California Environmental Quality Act ("CEQA") provides the strong presumption in favor of requiring preparation of an Environmental Impact Report.

Class 32 Exemptions may only be used where the Project is consistent with the applicable General Plan. As set forth above, the Project is not consistent with the West Adams - Baldwin Hills - Leimert Community Plan.

Class 32 Exceptions are further only available where the Project would not result in any significant effects relating to traffic, noise, air quality or water quality. Here, not only is the City's finding to such effect not supported by substantial evidence, there is evidence to the contrary.

CEQA also prohibits use of a categorical exemption when "there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances." (CEQA Guidelines § 15300.2(c)). The "unusual circumstances" exception is established without evidence of an environmental effect upon a showing that the project has some feature that distinguishes it from others in the exempt class, such as its size or location. In such a case, to render the exception applicable, the party need only show a reasonable possibility of a significant effect due to that unusual circumstance. Alternatively, the "unusual circumstances" exception is established with evidence that the project will have a significant environmental effect. The City's finding that there are no unusual circumstances is not supported by substantial evidence, there is evidence to the contrary.

Finally, application of the Class 32 exemption is inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant. Cumulative impacts have not been adequately evaluated.

COUNTY CLERK'S USE

CITY OF LOS ANGELES
OFFICE OF THE CITY CLERK
200 NORTH SPRING STREET, ROOM 395
LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT
NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152(b) and CEQA Guidelines Section 15062. Pursuant to Public Resources Code Section 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS

AA-2020-6489-PMLA-SL-HCA

LEAD CITY AGENCY

City of Los Angeles (Department of City Planning)

CASE NUMBER

ENV-2020-6490-CE

PROJECT TITLE

COUNCIL DISTRICT

10

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)

2036 Curson Avenue

Map attached.

PROJECT DESCRIPTION:

Demolish existing SFD and construct 2 New Small Lot Single Family Dwellings

Additional page(s) attached.

NAME OF APPLICANT / OWNER:

Michael Nikravesh

CONTACT PERSON (If different from Applicant/Owner above)

(AREA CODE) TELEPHONE NUMBER

EXT.

(818) 640-3863

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

STATE CEQA STATUTE & GUIDELINES

STATUTORY EXEMPTION(S)

Public Resources Code Section(s) _____

CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)

CEQA Guideline Section(s) / Class(es) Section 15315/ Class 15

OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b))

JUSTIFICATION FOR PROJECT EXEMPTION:

Additional page(s) attached

Division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent.

None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.

The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE

STAFF TITLE

ENTITLEMENTS APPROVED

FEE:

\$ 14,893.00

RECEIPT NO. (online)

281020 E3D

REC'D. BY (DCP DSC STAFF NAME)

Louis Ortega

DISTRIBUTION: County Clerk, Agency Record

Rev. 3-27-2019

ALL PROPERTIES
 CPC-2004-2395-ICO
 CPC-1986-821-GPC
 CPC-2006-5567-CPU



LMG
 Leon Mapping & GIS Services
 15031 Chatsworth St, Ste 17
 Mission Hills, CA 91345
 818-235-7649
 leonmapping@hotmail.com
 www.laradiusmaps.com

LEGAL DESC; LOT 60, TR 5770 M B 62-7/8
 (APN) 5064016002

Thomas Brothers Grid
 PAGE 633 - GRID B6

Community Plan Area West Adams - Baldwin Hills - Leimert
 Area Planning Commission South Los Angeles
 Neighborhood Council Mid City
 Council District CD 10 - Herb J. Wesson, Jr.
 Census Tract # 2183.00

Map Sheet 126B177

CASE #
 USES: FIELD
 SCALE: 1"=100'

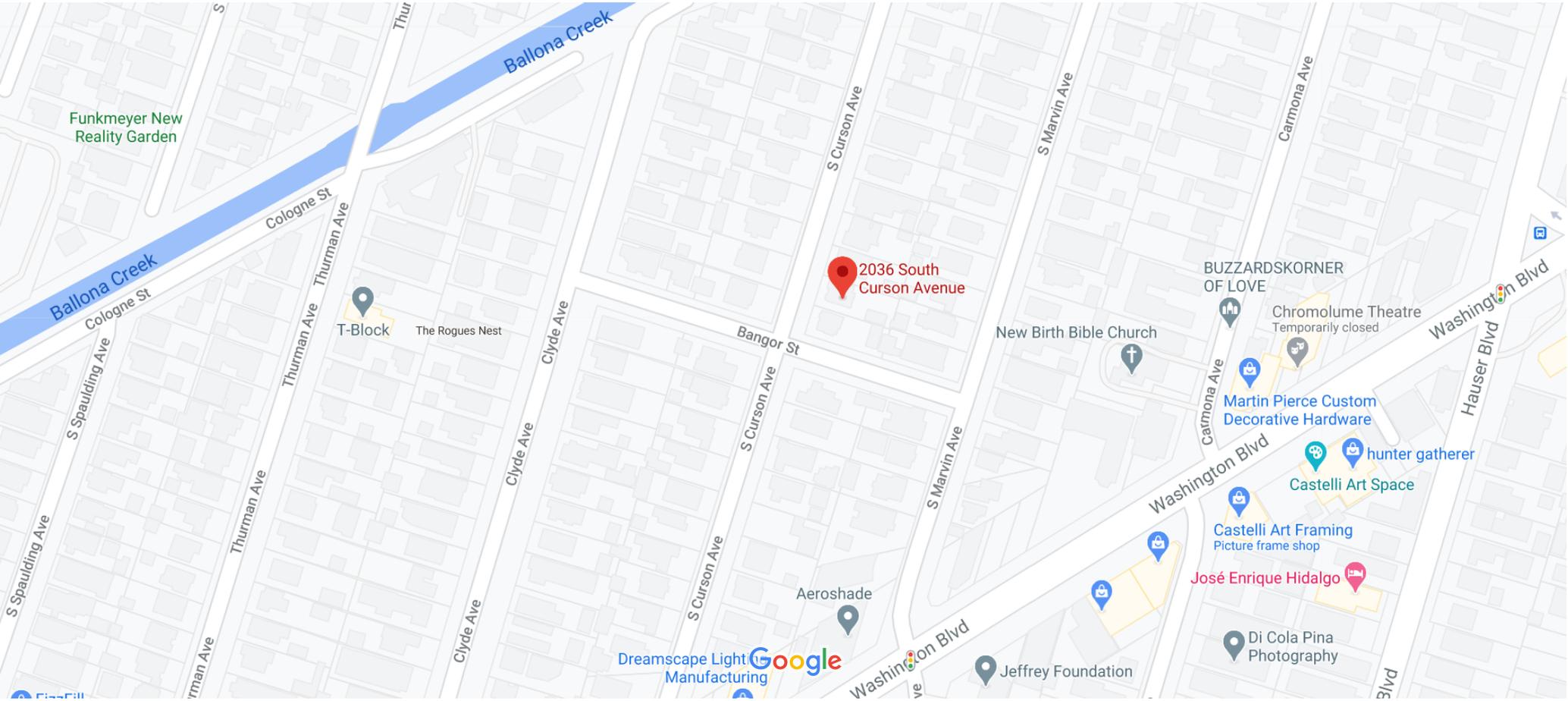
**PRELIMINARY PARCEL MAP
 SMALL LOT SUBDIVISION**

ACREAGE: ± 0.118

DATE: 9/27/2020
 UPDATE: _____

CONTACT: MICHAEL NIKRAVESH
 PHONE : 310.594.8174







Rafael Fontes <rafael.fontes@lacity.org>

Signed Petition for case #: AA-2020-6489-PMLA-SL-HCA

3 messages

Al Merc <almercadodesign@gmail.com>
To: Rafael Fontes <rafael.fontes@lacity.org>

Wed, Mar 24, 2021 at 4:56 PM

Hello Rafael-

Here is a partial list of the signed Petition I mentioned to you earlier. Please include them for the record.

Thank you- Al Mercado

Sent from my iPhone

9 attachments

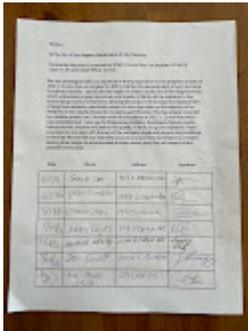


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image1.jpeg
1187K



image2.jpeg
1150K

image3.jpeg
1144K



image4.jpeg
1143K



image5.jpeg
1186K

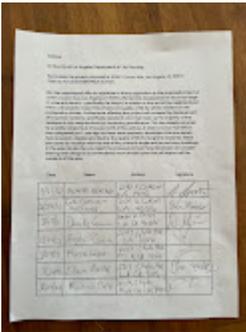


image6.jpeg
1220K



image7.jpeg
1204K

image8.jpeg
1118K



Rafael Fontes <rafael.fontes@lacity.org>
To: Al Merc <almercadodesign@gmail.com>

Wed, Mar 24, 2021 at 5:03 PM

Thank you, Al.

I've informed my supervisor of these objections, in addition to the letter you sent earlier just now. Were you (or any of your neighbors) able to get a hold of anyone in CD-10?

Rafael

[Quoted text hidden]

[Quoted text hidden]
Sent from my iPhone

--



Rafael Fontes
Preferred Pronouns: He, His, Him
Planning Assistant

Los Angeles City Planning
200 N. Spring St., Room 721
Los Angeles, CA 90012
T: (213) 978-1189 | Planning4LA.org



Al Merc <almercadodesign@gmail.com>
To: Rafael Fontes <rafael.fontes@lacity.org>

Wed, Mar 24, 2021 at 5:58 PM

Hi- yes I got a response from Danielle Mero. This is what she wrote:

Hello Al,

I've talked to our planning deputy regarding this location. 2036 S Curson is a subdivision case and can be appealed up to 10 days after final approval by the subdivision deputy advisory agency. The hearing will take place and anyone can make commentary publicly. A constituent's concerns relative to an item that is scheduled for a public agenda needs to be discussed in that hearing.

All constituents are welcome to testify at the public hearing to state their concerns, or present evidence that the project would be inconsistent with the general and community plan policies, or materially cause negative impacts to neighboring properties.

Thank you,
Danielle Mero

Constituent Services Team for Council Member Mark Ridley-Thomas

Sent from my iPhone

On Mar 24, 2021, at 5:04 PM, Rafael Fontes <rafael.fontes@lacity.org> wrote:

[Quoted text hidden]



Rafael Fontes <rafael.fontes@lacity.org>

Case aa-2020-6489-pmla-sl-hca - 2036 Curson Ave.

2 messages

s55sss@aol.com <s55sss@aol.com>

Mon, Mar 22, 2021 at 5:32 PM

Reply-To: s55sss@aol.com

To: "rafael.fontes@lacity.org" <rafael.fontes@lacity.org>

Hello,

We are opposed to the building of the two new 3 story dwellings at [2036 Curson Ave.](#) Over the past few years there has been increase construction activity in the neighborhood and consequently reduced parking and crowded streets. The allowable height of 42'-0 is significantly out of scale to the neighborhood and the original homes in the area.

We have a growing community issue of developers taking advantage of lower house prices, coming in to the area purchasing demolishing and building structures which lack in architectural character. Further there has been no advantage to the community with the increased density and construction noise and traffic. Further there have been no upgrades to public utilities.

We are strongly oppose this project and similar type development models of buying homes, demolishing- building -and (high) rent developments. These "developments" do not benefit our community.

Best Regards,
SSS

Rafael Fontes <rafael.fontes@lacity.org>

Mon, Mar 22, 2021 at 5:59 PM

To: SARA SAUCIER <s55sss@aol.com>

Hello,

Thank you for reaching out. I'll forward your comments to the advisory agency. If you can, please consider coming to speak (virtually) at the hearing this Thursday. I've attached the hearing notice as well for reference.

Best,
Rafael

[Quoted text hidden]

--

LOS ANGELES
CITY PLANNING**Rafael Fontes**

Preferred Pronouns: He, His, Him

Planning Assistant

Los Angeles City Planning

200 N. Spring St., Room 721

Los Angeles, CA 90012

T: (213) 978-1189 | Planning4LA.org



Initial Hearing Notice - AA-2020-6489-PMLA-SL-HCA.pdf
671K



Rafael Fontes <rafael.fontes@lacity.org>

2034 - 2036 S Curson Avenue

4 messages

Rafael Fontes <rafael.fontes@lacity.org>
To: almercadodesign@gmail.com

Tue, Mar 16, 2021 at 6:25 PM

Hello,

I attached the Tentative Parcel Map for case number AA-2020-6489-PMLA-SL-HCA, and the applicant is working to get me the digitized plans from their architect by tomorrow.

The links below will take you to the two previous/similar cases in your area. You can download the Determination Letters (and any additional documents) there:

<https://planning.lacity.org/pdiscaseinfo/search/case/AA-2018-4919-PMLA-SL><https://planning.lacity.org/pdiscaseinfo/search/encoded/Mjl5NDgw0>

I looked up the most recent list, and the only contact we were given for CD-10 is for their Chief of Staff:

Karly Katona
karly.katona@lacity.org
200 N. Spring St., Rm 430
Los Angeles, CA 90012
T: (213) 473-7010

I can't say for sure how responsive they'll be, as Ridley-Thomas' team is likely still transitioning in. I also forgot to bring it up on the call, but have you reached out to your local neighborhood council? They may be more responsive. The link to their contact info is below:

<https://empowerla.org/minc/>

Thank you again for reaching out, and please don't hesitate to follow up if you don't hear from me again by the end of the day tomorrow. Thank you again for your patience with all this.

Best,
Rafael

--

**Rafael Fontes**

Preferred Pronouns: He, His, Him

Planning Assistant

Los Angeles City Planning

200 N. Spring St., Room 721

Los Angeles, CA 90012

T: (213) 978-1189 | Planning4LA.org

 104a_2036 Curson Avenue TPM_tpm1740.pdf
472K

Al Mercado <almercadodesign@gmail.com>
To: Rafael Fontes <rafael.fontes@lacity.org>

Tue, Mar 16, 2021 at 6:52 PM

Thanks for your response Rafael, I look forward to receiving the rest of the material from you.

Can you also please provide me with the deputy in this case, Sergio Ibarra's contact info.

Thank you- Al
[Quoted text hidden]

Rafael Fontes <rafael.fontes@lacity.org>
To: Al Mercado <almercadodesign@gmail.com>
Cc: Sergio Ibarra <sergio.ibarra@lacity.org>

Wed, Mar 17, 2021 at 5:57 PM

Hello Al,

Please find the applicant's architectural plans attached. I've cc'd Sergio Ibarra on this email, but please keep in mind that he's still reviewing the staff report for completion.

[Quoted text hidden]



CURSON SIGNED PLANS.PDF
15228K

Al Mercado <almercadodesign@gmail.com>
To: Rafael Fontes <rafael.fontes@lacity.org>
Cc: Sergio Ibarra <sergio.ibarra@lacity.org>

Thu, Mar 18, 2021 at 12:54 PM

Received, thank you.
[Quoted text hidden]



Rafael Fontes <rafael.fontes@lacity.org>

Case AA-2020-6489-PMLA-SL-HCA

2 messages

Adib Kadir <adib.kadir@gmail.com>
To: rafael.fontes@lacity.org

Thu, Apr 1, 2021 at 5:54 PM

Hi Rafael,

I'm a neighbor to the [2036 South Curson Avenue](#) project. Where can I see the plans for what is being built there?

Thanks!
Adib Kadir
2014 Clyde Ave

Rafael Fontes <rafael.fontes@lacity.org>
To: Adib Kadir <adib.kadir@gmail.com>

Fri, Apr 2, 2021 at 8:00 AM

Hello Adib,

Please find the applicant's parcel maps and architecture plans attached.

Best,
Rafael
[Quoted text hidden]

--



LOS ANGELES
CITY PLANNING

Rafael Fontes

Preferred Pronouns: He, His, Him

Planning Assistant

Los Angeles City Planning

200 N. Spring St., Room 721

Los Angeles, CA 90012

T: (213) 978-1189 | Planning4LA.org



2 attachments

104a_2036 Curson Avenue TPM_tpm1740.pdf
472K

CURSON SIGNED PLANS.PDF
15228K



Rafael Fontes <rafael.fontes@lacity.org>

CASE no:AA-2020-6489-PMLA-SL-HCA

7 messages

Al Mercado <almercadodesign@gmail.com>
To: Rafael Fontes <rafael.fontes@lacity.org>

Wed, Mar 31, 2021 at 1:05 PM

Hello Rafael,

I am following up on the case decision. I have not received any documentation from your office regarding the decision nor the minutes of the hearing. I would like to review that information before I file my appeal. I do recall there was an issue with the Fire Department regarding the plan. Please let me know how and when I can obtain these documents.

Thank you, Al Mercado

Rafael Fontes <rafael.fontes@lacity.org>
To: Al Mercado <almercadodesign@gmail.com>

Wed, Mar 31, 2021 at 1:12 PM

Hello Al,

I'll reach out to my supervisor to see what the next step is. I do know that we'll need to issue a determination letter before any appeals can be filed.

Best,
Rafael

[Quoted text hidden]

--



Rafael Fontes

Preferred Pronouns: He, His, Him
Planning Assistant

Los Angeles City Planning

200 N. Spring St., Room 721
Los Angeles, CA 90012

T: (213) 978-1189 | Planning4LA.org



Al Mercado <almercadodesign@gmail.com>
To: Rafael Fontes <rafael.fontes@lacity.org>

Wed, Mar 31, 2021 at 1:32 PM

Great- can you clarify and confirm that there isn't a deadline for the appeal just yet? Not until I receive a determination letter?

Thanks

[Quoted text hidden]

Rafael Fontes <rafael.fontes@lacity.org>
To: Al Mercado <almercadodesign@gmail.com>

Thu, Apr 1, 2021 at 8:21 AM

Hello Al,

There's no set deadline for the appeal just yet. When a decision letter is issued, it normally spells out an appeal period. This is normally 10 business days after the date of issue.

Rafael
[Quoted text hidden]

Rafael Fontes <rafael.fontes@lacity.org>
To: Al Mercado <almercadodesign@gmail.com>

Tue, Apr 27, 2021 at 1:48 PM

Hello Al,

Please find the PDF of the LOD attached. It should be coming to you in the mail as well.

Best,
Rafael
[Quoted text hidden]

 **AA-2020-6489.pdf**
328K

Rafael Fontes <rafael.fontes@lacity.org>
To: Al Mercado <almercadodesign@gmail.com>

Thu, Apr 29, 2021 at 7:54 AM

Hello Al,

I've attached an updated version of the LOD for this case. There was a delay with mailings, so we've changed the issue date to today to ensure that it's coordinated with the date of mailing. Otherwise, nothing is different on the attached copy, and you still have a ten-day appeal period.

Best,
Rafael
[Quoted text hidden]

 **AA-2020-6489.pdf**
328K

Al Merc <almercadodesign@gmail.com>
To: Rafael Fontes <rafael.fontes@lacity.org>

Thu, Apr 29, 2021 at 10:06 AM

Thanks Rafael

Sent from my iPhone
[Quoted text hidden]

[Quoted text hidden]
<AA-2020-6489.pdf>



Rafael Fontes <rafael.fontes@lacity.org>

Deadline Monday? - AA-2020-6489-PMLA-SL-HCA

4 messages

Kristina Kropp <kkropp@lunaglushon.com> Fri, May 7, 2021 at 3:27 PM
To: "rafael.fontes@lacity.org" <rafael.fontes@lacity.org>
Cc: "sergio.ibarra@lacity.org" <sergio.ibarra@lacity.org>, Rob Glushon <rglushon@lunaglushon.com>

Rafael,

Can you please confirm the final date to appeal the above decision? It says May 9 at the top, but a parcel map is subject to a 15 day appeal, as stated on page 19. If it's 15 days, shouldn't it be May 12 (if calculated from the date of the first determination letter)?

Are we missing something? Is the SL deadline to appeal different?

Thanks,

Kristina

Kristina Kropp, Esq.
Luna & Glushon, A Professional Corporation
16255 Ventura Boulevard, Suite 950
Encino, California 91436
Telephone (818) 907-8755
Fax (818) 907-8760

Dennis R. Luna
(1946-2016)

=====

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Rafael Fontes <rafael.fontes@lacity.org> Fri, May 7, 2021 at 3:59 PM
To: Kristina Kropp <kkropp@lunaglushon.com>
Cc: "sergio.ibarra@lacity.org" <sergio.ibarra@lacity.org>, Rob Glushon <rglushon@lunaglushon.com>

Hello Kristina,

We will be issuing a correction letter next week with the correct appeal deadline. It should arrive by mail, and we're happy to email it to you once issued.

Best,
Rafael
[Quoted text hidden]
--



Rafael Fontes
Preferred Pronouns: He, His, Him
Planning Assistant
Los Angeles City Planning
200 N. Spring St., Room 721
Los Angeles, CA 90012
T: (213) 978-1189 | Planning4LA.org
f i t v in E-NEWS

Kristina Kropp <kkropp@lunaglushon.com> Fri, May 7, 2021 at 4:02 PM
To: Rafael Fontes <rafael.fontes@lacity.org>
Cc: "sergio.ibarra@lacity.org" <sergio.ibarra@lacity.org>, Rob Glushon <rglushon@lunaglushon.com>

Yes, that would be great. So I can tell the neighborhood the deadline is not Monday?

Kristina Kropp, Esq.
Luna & Glushon, A Professional Corporation
16255 Ventura Boulevard, Suite 950
Encino, California 91436
Telephone (818) 907-8755
Fax (818) 907-8760

Dennis R. Luna
(1946-2016)

=====

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7/26/2021

City of Los Angeles Mail - Deadline Monday? - AA-2020-6489-PMLA-SL-HCA

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[Quoted text hidden]

Rob Glushon <rglushon@lunaglushon.com>
To: Kristina Kropp <kkropp@lunaglushon.com>
Cc: Rafael Fontes <rafael.fontes@lacity.org>, "sergio.ibarra@lacity.org" <sergio.ibarra@lacity.org>

Fri, May 7, 2021 at 4:14 PM

So appeal deadline is not Monday May 10?

Sent from my iPhone

On May 7, 2021, at 4:02 PM, Kristina Kropp <kkropp@lunaglushon.com> wrote:

[Quoted text hidden]

1
OCCUPANT
2036 S CURSON AVE
LOS ANGELES, CA 90016

2
OCCUPANT
2040 S CURSON AVE
LOS ANGELES, CA 90016

5
OCCUPANT
2114 S CURSON AVE
LOS ANGELES, CA 90016

6
OCCUPANT
2118 S CURSON AVE
LOS ANGELES, CA 90016

10
OCCUPANT
2134 S CURSON AVE
LOS ANGELES, CA 90016

10
OCCUPANT
2136 S CURSON AVE
LOS ANGELES, CA 90016

12
OCCUPANT
5529 W WASHINGTON BLVD
LOS ANGELES, CA 90016

17
OCCUPANT
2123 S CURSON AVE
LOS ANGELES, CA 90016

18
OCCUPANT
2121 S CURSON AVE
LOS ANGELES, CA 90016

24
OCCUPANT
2112 CLYDE AVE #1
LOS ANGELES, CA 90016

24
OCCUPANT
2112 CLYDE AVE #2
LOS ANGELES, CA 90016

24
OCCUPANT
2112 CLYDE AVE #3
LOS ANGELES, CA 90016

24
OCCUPANT
2112 CLYDE AVE #4
LOS ANGELES, CA 90016

25
OCCUPANT
2118 CLYDE AVE
LOS ANGELES, CA 90016

27
OCCUPANT
2126 CLYDE AVE
LOS ANGELES, CA 90016

28
OCCUPANT
2130 CLYDE AVE
LOS ANGELES, CA 90016

29
OCCUPANT
2134 CLYDE AVE
LOS ANGELES, CA 90016

30
OCCUPANT
2136 CLYDE AVE
LOS ANGELES, CA 90016

30
OCCUPANT
2138 CLYDE AVE
LOS ANGELES, CA 90016

30
OCCUPANT
2140 CLYDE AVE
LOS ANGELES, CA 90016

33
OCCUPANT
2115 CLYDE AVE
LOS ANGELES, CA 90016

34
OCCUPANT
2111 CLYDE AVE #1
LOS ANGELES, CA 90016

34
OCCUPANT
2111 CLYDE AVE #2
LOS ANGELES, CA 90016

34
OCCUPANT
2111 CLYDE AVE #3
LOS ANGELES, CA 90016

34
OCCUPANT
2111 CLYDE AVE #4
LOS ANGELES, CA 90016

36
OCCUPANT
2101 CLYDE AVE #1
LOS ANGELES, CA 90016

36
OCCUPANT
2101 CLYDE AVE #2
LOS ANGELES, CA 90016

36
OCCUPANT
2101 CLYDE AVE #3
LOS ANGELES, CA 90016

36
OCCUPANT
2101 CLYDE AVE #4
LOS ANGELES, CA 90016

37
OCCUPANT
2029 CLYDE AVE #1
LOS ANGELES, CA 90016

37
OCCUPANT
2029 CLYDE AVE #2
LOS ANGELES, CA 90016

37
OCCUPANT
2029 CLYDE AVE #3
LOS ANGELES, CA 90016

37
OCCUPANT
2029 CLYDE AVE #4
LOS ANGELES, CA 90016

38
OCCUPANT
2025 CLYDE AVE #1
LOS ANGELES, CA 90016

38
OCCUPANT
2025 CLYDE AVE #2
LOS ANGELES, CA 90016

38
OCCUPANT
2025 CLYDE AVE #3
LOS ANGELES, CA 90016

38
OCCUPANT
2025 CLYDE AVE #4
LOS ANGELES, CA 90016

39
OCCUPANT
2019 CLYDE AVE
LOS ANGELES, CA 90016

41
OCCUPANT
2007 CLYDE AVE #1
LOS ANGELES, CA 90016

41
OCCUPANT
2007 CLYDE AVE #2
LOS ANGELES, CA 90016

41
OCCUPANT
2007 CLYDE AVE #3
LOS ANGELES, CA 90016

41
OCCUPANT
2007 CLYDE AVE #4
LOS ANGELES, CA 90016

41
OCCUPANT
2007 CLYDE AVE #5
LOS ANGELES, CA 90016

41
OCCUPANT
2007 CLYDE AVE #6
LOS ANGELES, CA 90016

42
OCCUPANT
2000 CLYDE AVE
LOS ANGELES, CA 90016

42
OCCUPANT
2002 CLYDE AVE
LOS ANGELES, CA 90016

43
OCCUPANT
2006 CLYDE AVE
LOS ANGELES, CA 90016

48
OCCUPANT
2028 1/2 CLYDE AVE
LOS ANGELES, CA 90016

48
OCCUPANT
2028 CLYDE AVE
LOS ANGELES, CA 90016

49
OCCUPANT
2032 CLYDE AVE
LOS ANGELES, CA 90016

53
OCCUPANT
2031 S CURSON AVE
LOS ANGELES, CA 90016

54
OCCUPANT
2025 S CURSON AVE
LOS ANGELES, CA 90016

54
OCCUPANT
2027 S CURSON AVE
LOS ANGELES, CA 90016

55
OCCUPANT
2023 S CURSON AVE
LOS ANGELES, CA 90016

58
OCCUPANT
2005 S CURSON AVE
LOS ANGELES, CA 90016

59
OCCUPANT
1915 S CURSON AVE
LOS ANGELES, CA 90016

59
OCCUPANT
2001 S CURSON AVE
LOS ANGELES, CA 90016

59
OCCUPANT
2003 1/2 S CURSON AVE
LOS ANGELES, CA 90016

59
OCCUPANT
2003 S CURSON AVE
LOS ANGELES, CA 90016

60
OCCUPANT
1903 S CURSON AVE
LOS ANGELES, CA 90016

60
OCCUPANT
1905 S CURSON AVE
LOS ANGELES, CA 90016

60
OCCUPANT
1907 S CURSON AVE
LOS ANGELES, CA 90016

61
OCCUPANT
1902 S CURSON AVE
LOS ANGELES, CA 90016

62
OCCUPANT
1829 S MARVIN AVE
LOS ANGELES, CA 90019

64
OCCUPANT
1834 S MARVIN AVE
LOS ANGELES, CA 90019

66
OCCUPANT
1906 S MARVIN AVE
LOS ANGELES, CA 90016

69
OCCUPANT
1911 CARMONA AVE #1
LOS ANGELES, CA 90016

69
OCCUPANT
1911 CARMONA AVE #2
LOS ANGELES, CA 90016

69
OCCUPANT
1911 CARMONA AVE #3
LOS ANGELES, CA 90016

69
OCCUPANT
1911 CARMONA AVE #4
LOS ANGELES, CA 90016

70
OCCUPANT
1915 CARMONA AVE
LOS ANGELES, CA 90016

74
OCCUPANT
1926 S MARVIN AVE #1
LOS ANGELES, CA 90016

74
OCCUPANT
1926 S MARVIN AVE #2
LOS ANGELES, CA 90016

74
OCCUPANT
1926 S MARVIN AVE #3
LOS ANGELES, CA 90016

74
OCCUPANT
1926 S MARVIN AVE #4
LOS ANGELES, CA 90016

75
OCCUPANT
1930 S MARVIN AVE
LOS ANGELES, CA 90016

75
OCCUPANT
1932 S MARVIN AVE
LOS ANGELES, CA 90016

77
OCCUPANT
1940 1/2 S MARVIN AVE
LOS ANGELES, CA 90016

78
OCCUPANT
1944 S MARVIN AVE #1
LOS ANGELES, CA 90016

78
OCCUPANT
1944 S MARVIN AVE #2
LOS ANGELES, CA 90016

78
OCCUPANT
1944 S MARVIN AVE #3
LOS ANGELES, CA 90016

78
OCCUPANT
1944 S MARVIN AVE #4
LOS ANGELES, CA 90016

78
OCCUPANT
1944 S MARVIN AVE #5
LOS ANGELES, CA 90016

78
OCCUPANT
1944 S MARVIN AVE #6
LOS ANGELES, CA 90016

79
OCCUPANT
1950 S MARVIN AVE
LOS ANGELES, CA 90016

79
OCCUPANT
1952 S MARVIN AVE
LOS ANGELES, CA 90016

79
OCCUPANT
1954 S MARVIN AVE
LOS ANGELES, CA 90016

79
OCCUPANT
1956 S MARVIN AVE
LOS ANGELES, CA 90016

79
OCCUPANT
1958 S MARVIN AVE
LOS ANGELES, CA 90016

79
OCCUPANT
1960 S MARVIN AVE
LOS ANGELES, CA 90016

81
OCCUPANT
2104 S MARVIN AVE
LOS ANGELES, CA 90016

81
OCCUPANT
2108 S MARVIN AVE
LOS ANGELES, CA 90016

81
OCCUPANT
2110 S MARVIN AVE
LOS ANGELES, CA 90016

82
OCCUPANT
5485 W WASHINGTON BLVD
LOS ANGELES, CA 90016

82
OCCUPANT
5499 W WASHINGTON BLVD
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #1
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #10
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #11
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #12
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #13
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #14
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #2
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #3
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #4
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #5
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #6
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #7
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #8
LOS ANGELES, CA 90016

83
OCCUPANT
5445 W WASHINGTON BLVD #9
LOS ANGELES, CA 90016

84
OCCUPANT
5443 W WASHINGTON BLVD
LOS ANGELES, CA 90016

84
OCCUPANT
5499 W WASHINGTON BLVD
LOS ANGELES, CA 90016

85
OCCUPANT
1941 CARMONA AVE
LOS ANGELES, CA 90016

85
OCCUPANT
1945 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1933 1/2 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1933 1/4 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1933 3/4 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1933 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1935 1/2 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1935 1/4 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1935 3/4 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1935 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1937 1/2 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1937 1/4 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1937 3/4 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1937 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1939 1/2 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1939 1/4 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1939 3/4 CARMONA AVE
LOS ANGELES, CA 90016

86
OCCUPANT
1939 CARMONA AVE
LOS ANGELES, CA 90016

88
OCCUPANT
1950 CARMONA AVE
LOS ANGELES, CA 90016

89
OCCUPANT
1925 CARMONA AVE
LOS ANGELES, CA 90016

90
OCCUPANT
5444 W WASHINGTON BLVD
LOS ANGELES, CA 90016

90
OCCUPANT
5458 W WASHINGTON BLVD
LOS ANGELES, CA 90016

91
OCCUPANT
5505 W WASHINGTON BLVD
LOS ANGELES, CA 90016

91
OCCUPANT
5509 W WASHINGTON BLVD
LOS ANGELES, CA 90016

91
OCCUPANT
5521 W WASHINGTON BLVD
LOS ANGELES, CA 90016

92
OCCUPANT
2121 S MARVIN AVE #1
LOS ANGELES, CA 90016

92
OCCUPANT
2121 S MARVIN AVE #2
LOS ANGELES, CA 90016

92
OCCUPANT
2121 S MARVIN AVE #3
LOS ANGELES, CA 90016

92
OCCUPANT
2121 S MARVIN AVE #4
LOS ANGELES, CA 90016

92
OCCUPANT
2121 S MARVIN AVE #5
LOS ANGELES, CA 90016

92
OCCUPANT
2121 S MARVIN AVE #6
LOS ANGELES, CA 90016

92
OCCUPANT
2121 S MARVIN AVE #7
LOS ANGELES, CA 90016

92
OCCUPANT
2121 S MARVIN AVE #8
LOS ANGELES, CA 90016

93
OCCUPANT
2117 1/2 S MARVIN AVE
LOS ANGELES, CA 90016

93
OCCUPANT
2117 S MARVIN AVE
LOS ANGELES, CA 90016

93
OCCUPANT
2119 1/2 S MARVIN AVE
LOS ANGELES, CA 90016

93
OCCUPANT
2119 1/4 S MARVIN AVE
LOS ANGELES, CA 90016

93
OCCUPANT
2119 S MARVIN AVE
LOS ANGELES, CA 90016

94
OCCUPANT
2111 1/2 S MARVIN AVE
LOS ANGELES, CA 90016

94
OCCUPANT
2111 S MARVIN AVE
LOS ANGELES, CA 90016

94
OCCUPANT
2113 1/2 S MARVIN AVE
LOS ANGELES, CA 90016

94
OCCUPANT
2113 S MARVIN AVE
LOS ANGELES, CA 90016

95
OCCUPANT
2109 1/2 S MARVIN AVE
LOS ANGELES, CA 90016

95
OCCUPANT
2109 S MARVIN AVE
LOS ANGELES, CA 90016

96
OCCUPANT
2101 1/2 S MARVIN AVE
LOS ANGELES, CA 90016

96
OCCUPANT
2103 1/2 S MARVIN AVE
LOS ANGELES, CA 90016

97
OCCUPANT
1945 MARVIN AVE.
LOS ANGELES, CA 90016

97
OCCUPANT
5509 BANGOR ST
LOS ANGELES, CA 90016

102
OCCUPANT
1921 S MARVIN AVE
LOS ANGELES, CA 90016

104
OCCUPANT
1831 S MARVIN AVE
LOS ANGELES, CA 90019

105
OCCUPANT
1907 S MARVIN AVE
LOS ANGELES, CA 90016

105
OCCUPANT
1907 S MARVIN AVE #1
LOS ANGELES, CA 90016

105
OCCUPANT
1907 S MARVIN AVE #2
LOS ANGELES, CA 90016

107
OCCUPANT
1837 S MARVIN AVE #1
LOS ANGELES, CA 90019

107
OCCUPANT
1837 S MARVIN AVE #2
LOS ANGELES, CA 90019

107
OCCUPANT
1837 S MARVIN AVE #3
LOS ANGELES, CA 90019

107
OCCUPANT
1837 S MARVIN AVE #4
LOS ANGELES, CA 90019

107
OCCUPANT
1837 S MARVIN AVE #5
LOS ANGELES, CA 90019

107
OCCUPANT
1837 S MARVIN AVE #6
LOS ANGELES, CA 90019

109
OCCUPANT
1914 S CURSON AVE
LOS ANGELES, CA 90016

111
OCCUPANT
1924 S CURSON AVE
LOS ANGELES, CA 90016

112
OCCUPANT
2008 S CURSON AVE
LOS ANGELES, CA 90016

115
OCCUPANT
2022 S CURSON AVE
LOS ANGELES, CA 90016

115
OCCUPANT
2024 S CURSON AVE
LOS ANGELES, CA 90016

0
LEON MAPPING GIS SERVICES
15031 CHATSWORTH ST # 17
MISSION HILLS, CA 91345

REP
CANE CORSO LLC/MICHAEL
NIKRAVESH
337 S ROBERTSON BLVD #201
BEVERLY HILLS, CA 90211

1 OWNER
CANE CORSO LLC
337 S ROBERTSON BLVD #201
BEVERLY HILLS, CA 90211

2
JOSE J HERNANDEZ
2042 S CURSON AVE
LOS ANGELES, CA 90016

3
EMORY B & BOBBIE A LEE
2100 S CURSON AVE
LOS ANGELES, CA 90016

4
GEORGE & HATSUKO GENTRY
2106 S CURSON AVE
LOS ANGELES, CA 90016

5
MANUEL D & DORIS I MIRANDA
2112 S CURSON AVE
LOS ANGELES, CA 90016

6
LETICIA A WASHINGTON
2120 S CURSON AVE
LOS ANGELES, CA 90016

7
JOSE & SYLVIA RAMOS
2124 S CURSON AVE
LOS ANGELES, CA 90016

8
BETTY J MALLOY
2126 CURSON AVE S
LOS ANGELES, CA 90016

9
JUAN G & NONETTE T CASIANO
2130 S CURSON AVE
LOS ANGELES, CA 90016

10
CLARO M & LUZ R AGUILAR
3504 EMMONS AVE
NORTH LAS VEGAS, NV 89030

11
JODI L SINOFF
2206 S CURSON AVE
LOS ANGELES, CA 90016

12
MAURICE & MAUREEN COHEN
6517 HAYES DR
LOS ANGELES, CA 90048

13
DEANNA L GOODLOW
2201 S CURSON AVE
LOS ANGELES, CA 90016

14
EVON S HOCHSTEIN
2135 S CURSON AVE
LOS ANGELES, CA 90016

15
PRIYAN CHANDRARATNA
2131 S CURSON AVE
LOS ANGELES, CA 90016

16
FREDDY & ELVIRA BADILLO
2127 S CURSON AVE
LOS ANGELES, CA 90016

17
ASUNCION & MARIA S DE LA
TORRE
2125 S CURSON AVE
LOS ANGELES, CA 90016

18
REGINALD & CHIZOMA NJOKU
2119 S CURSON AVE
LOS ANGELES, CA 90016

19
DENISE RANDOLPH
2115 S CURSON AVE
LOS ANGELES, CA 90016

20
HANY ABDELMALLAK
2107 S CURSON AVE
LOS ANGELES, CA 90016

21
MARGARET J HARRISON
2101 S CURSON AVE
LOS ANGELES, CA 90016

22
WALTER AMORIM
2102 CLYDE AVE
LOS ANGELES, CA 90016

23
ROBERTO & MERCEDES MORA
2106 CLYDE AVE
LOS ANGELES, CA 90016

24
SYDNEY A BERRARD
6228 FLORES AVE
LOS ANGELES, CA 90056

25
NATASHA A & SEAN J COLIN
ELLERIN
2116 CLYDE AVE
LOS ANGELES, CA 90016

26
JOSE O & ANA M DUARTE
2120 CLYDE AVE
LOS ANGELES, CA 90016

27
LOUIS C JACKSON
1693 E 68TH ST #35
LONG BEACH, CA 90805

28
KENNETH M & NANCI L POWELL
5625 W WASHINGTON BLVD
LOS ANGELES, CA 90016

29
MARIE B SORBIERS JEAN
PO BOX 65040117
SIOUX FALLS, SD 57186

30
JOSE A & SILVIA TOSTADO
3455 CATTARAUGUS AVE
CULVER CITY, CA 90232

31
KAY GWENDOLYN
2123 CLYDE AVE
LOS ANGELES, CA 90016

32
PASHA W HAWTHORNE
2119 CLYDE AVE
LOS ANGELES, CA 90016

33
HANNAH HYON
5007 HILLARD AVE
LA CANADA, CA 91011

34
BRUCE FRANKLIN
2111 CLYDE AVE #4
LOS ANGELES, CA 90016

35
DAVID SMITH
2105 CLYDE AVE
LOS ANGELES, CA 90016

36
UNION KY INC
975 S VERMONT AVE #202
LOS ANGELES, CA 90006

37
LETICIA A MEJIA
4320 2ND AVE
LOS ANGELES, CA 90008

38
DMITRIY VELIN
7315 W SUNSET BLVD #D
LOS ANGELES, CA 90046

39
RICHARD & ROSE BATES
8443 CLOVER LEAF DR
MCLEAN, VA 22102

40
CARMEN S LUNA
2015 CLYDE AVE
LOS ANGELES, CA 90016

41
H AND S INVESTMENT
PROPERTIES LLC
14960 DICKENS ST #205
SHERMAN OAKS, CA 91403

42
SEDAYESH LLC
4653 WHITE OAK PL
ENCINO, CA 91316

43
ROBIN R EVANGELISTA
2226 CLYDE AVE
LOS ANGELES, CA 90016

44
ORLANDO A & BLANCA RIVERA
2010 CLYDE AVE
LOS ANGELES, CA 90016

45
ADIB KADIR
2014 CLYDE AVE
LOS ANGELES, CA 90016

46
JEKABS SLIEDE
2018 CLYDE AVE
LOS ANGELES, CA 90016

47
BIRGITTA CROIL
2022 CLYDE AVE
LOS ANGELES, CA 90016

48
MATTHEW & TIFFANY MARCY
2026 CLYDE AVE
LOS ANGELES, CA 90016

49
LANCE & CHANTAL PROMNICK
2030 CLYDE AVE
LOS ANGELES, CA 90016

50
JEWEL HOWARD
2036 CLYDE AVE
LOS ANGELES, CA 90016

51
JOHN BERGER
5563 BANGOR ST
LOS ANGELES, CA 90016

52
EUGENE FAYNBERG
2035 S CURSON AVE
LOS ANGELES, CA 90016

53
YOUSSEF NOSRATI
PO BOX 351023
LOS ANGELES, CA 90035

54
RICHARD N DENNIS
5739 KANAN RD #246
AGOURA HILLS, CA 91301

55
JEROME J SPINNER
2021 S CURSON AVE
LOS ANGELES, CA 90016

56
MATILDE A REYES
2015 S CURSON AVE
LOS ANGELES, CA 90016

57
MATTIE RANDOLPH
2011 S CURSON AVE
LOS ANGELES, CA 90016

58
ALBERTO F CERVANTES
2007 S CURSON AVE
LOS ANGELES, CA 90016

59
DAVID & CARMEN CUEVA
1915 S CURSON AVE
LOS ANGELES, CA 90016

60
2614 CHARITON LLC
10525 WYTON DR
LOS ANGELES, CA 90024

61
FRANCISCO J AQUINO
1900 S CURSON AVE
LOS ANGELES, CA 90016

62
ALFONSO & ADELA RUEZGA
1827 S MARVIN AVE
LOS ANGELES, CA 90019

63
SARA SAUCIER
1832 S MARVIN AVE
LOS ANGELES, CA 90019

64
DARYL MONTGOMERY
1836 S MARVIN AVE
LOS ANGELES, CA 90019

65
MARIA P RIVERA
1900 S MARVIN AVE
LOS ANGELES, CA 90016

66
RICHARD GERWE
14 STACIA ST
LOS GATOS, CA 95030

67
STACEY A OZIEL
1910 S MARVIN AVE
LOS ANGELES, CA 90016

68
ERIC & MAGELYN LANZ
1907 CARMONA AVE
LOS ANGELES, CA 90016

69
MEGAN EDNER
8202 FLORENCE AVE #201
DOWNEY, CA 90240

70
LOLY O WEBER
1917 CARMONA AVE
LOS ANGELES, CA 90016

71
YOLA M MILLER
1921 S CARMONA AVE
LOS ANGELES, CA 90016

72
SHERI R STANSBERRY
1916 S MARVIN AVE
LOS ANGELES, CA 90016

73
GRANT QUAIL
1918 S MARVIN AVE
LOS ANGELES, CA 90016

74
RJPR LP
PO BOX 66306
LOS ANGELES, CA 90066

75
ANGELA SIMON
1251 S CRESCENT HEIGHTS
BLVD
LOS ANGELES, CA 90035

76
SEBASTIAN J SORIANO
1936 S MARVIN AVE
LOS ANGELES, CA 90016

77
ROSA O SIERRA
1940 S MARVIN AVE
LOS ANGELES, CA 90016

78
MELISSA D MOSEBERRY
5915 S CHARITON AVE
LOS ANGELES, CA 90056

79
GILBERT BARBOSA
2663 BRESSI RANCH WAY
CARLSBAD, CA 92009

80
SERGIO C RUIZ
2100 S MARVIN AVE
LOS ANGELES, CA 90016

81
LUCILLE V PHARR
12822 DUFFIELD AVE
LA MIRADA, CA 90638

82
ELAINE V MERZEL
5274 NW 20TH AVE
BOCA RATON, FL 33496

83
PHYLLIS MOORE GRIFFIN
5485 W WASHINGTON BLVD #3
LOS ANGELES, CA 90016

84
FOUNDATION JEFFREY
5470 W WASHINGTON BLVD
LOS ANGELES, CA 90016

85
NEW BIRTH BIBLE CHURCH
5634 MARBURN AVE
LOS ANGELES, CA 90043

86
SHEILA D DAVENPORT
14343 CROW RD
APPLE VALLEY, CA 92307

87
SHIRLEY J POLK
1929 CARMONA AVE
LOS ANGELES, CA 90016

88
ANNE LAUDER
5433 W WASHINGTON BLVD
LOS ANGELES, CA 90016

89
JEFFREY J & CHRISTINA T
PICKETT
1925 CARMONA AVE
LOS ANGELES, CA 90016

92
FG PROPERTY MANAGEMENT INC
1147 S ROBERTSON BLVD #203
LOS ANGELES, CA 90035

95
LEONA J DAVIS
2107 S MARVIN AVE
LOS ANGELES, CA 90016

98
EMMA P POPE
1941 S MARVIN AVE
LOS ANGELES, CA 90016

101
JOHN E LOW
1927 S MARVIN AVE
LOS ANGELES, CA 90016

104
IRIS W JOHNSON
1833 S MARVIN AVE
LOS ANGELES, CA 90019

107
MARVIN ASSET GROUP LLC
640 S SAN VICENTE BLVD #350
LOS ANGELES, CA 90048

110
TROY JACKSON
1918 S CURSON AVE
LOS ANGELES, CA 90016

113
JOSE C & LIZETTE LOPEZ
2012 S CURSON AVE
LOS ANGELES, CA 90016

116
MERCEDES GARCIA
2028 S CURSON AVE
LOS ANGELES, CA 90016

90
5444 W WASHINGTON BLVD LLC
1880 CENTURY PARK E #1600
LOS ANGELES, CA 90067

93
RICHARD LIU
10573 W PICO BLVD #821
LOS ANGELES, CA 90064

96
ALEJANDRO HERNANDEZ
2101 S MARVIN AVE
LOS ANGELES, CA 90016

99
HILDA M RODRIGUEZ
1937 S MARVIN AVE
LOS ANGELES, CA 90016

102
HERBERT J & MARILYN POTTER
2251 GREENCASTLE LN
OXNARD, CA 93035

105
ROBERT & IRMA C LUNA
1907 S MARVIN AVE #1
LOS ANGELES, CA 90016

108
KUTSAL KOCER
1908 S CURSON AVE
LOS ANGELES, CA 90016

111
ETHAN & JOON NGUYEN
1922 S CURSON AVE
LOS ANGELES, CA 90016

114
YU HSIN HSU
2020 S CURSON AVE
LOS ANGELES, CA 90016

117
ALFREDO MERCADO
2030 S CURSON AVE
LOS ANGELES, CA 90016

91
JACK & MIRIAM PITSON
174 N DOHENY DR
BEVERLY HILLS, CA 90211

94
YONA MIZRACHI
11693 SAN VICENTE BLVD
PMB348
LOS ANGELES, CA 90049

97
CHARLOTTE N MOHAMED
5242 MAYMONT DR
LOS ANGELES, CA 90043

100
LIBRADA S & SUNDY S
MACALINAO
1931 S MARVIN AVE
LOS ANGELES, CA 90016

103
STEPHAN BAIK
1917 S MARVIN AVE
LOS ANGELES, CA 90016

106
KARLA P LOOR
1903 S MARVIN AVE
LOS ANGELES, CA 90016

109
ALEJANDRO C & GRACIELA
ESCOBEDO
1912 S CURSON AVE
LOS ANGELES, CA 90016

112
CARL JOHNSON
2006 S CURSON AVE
LOS ANGELES, CA 90016

115
DARWISH MARK CO TR
12501 CHANDLER BLVD #204
VALLEY VILLAGE, CA 91607



ADMINISTRATIVE REVIEW

SMALL LOT DESIGN STANDARDS (SLD)

Administrative Review

RELATED CODE SECTION: Los Angeles Municipal Code Section 12.22 C.27(a)(2) authorizes the Director of Planning's review for compliance with the Commission's Small Lot Design Standards.

GENERAL INFORMATION

New Applications - This application and full set of architectural plans as listed below shall be filed concurrently with any small lot subdivision application request (*Vesting Tentative Tract or Preliminary Parcel Map*) and along with any applicable Geographic Project Planning Referral Form (CP-7812).

Modifications to Approved Projects (Deemed Complete After April 18, 2018) - Any subsequent modifications to architectural plans found not to be in substantial compliance with the originally approved Exhibit A shall be required to file a new application for Administrative Clearance and pay all applicable fees concurrently with a building permit application for a small lot project ("Project").

Determining a Project:

For the purposes of Small Lot Administrative Clearance application, the term "**Project**" includes the erection or construction, reconstruction, rehabilitation, relocation, addition to, or exterior alteration of any building or structure, which require the issuance of a demolition permit, grading permit, or building permit. Projects include the preservation of existing structures in a single lot and the subdivision of land for Small Lot purposes. A Project excludes work that consists solely of interior remodeling, interior rehabilitation or repair work that does not result in alterations to the façade or change in floor area. *The following are examples of building permits that are generally exempt from administrative review:*

- Re-roof with no alterations to the existing roof form, roof details, eave depth, eave details, or facades of the buildings
- In-ground swimming pools where permitted by the LAMC
- Roof-mounted solar modules
- Maintenance, repair, and/or rehabilitation of existing foundations
- Maintenance, repair, and/or rehabilitation of existing window and door treatments
- Mechanical equipment
- Exterior lighting

1. SUBMITTAL REQUIREMENTS

Size and Number of Copies: Provide one full size and five (5) 11"x17" color copies of architectural plans containing the following:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Site Plan | <input checked="" type="checkbox"/> Materials Sheet |
| <input checked="" type="checkbox"/> Contextual and Dimensioned Floor Plans | <input checked="" type="checkbox"/> Renderings |
| <input checked="" type="checkbox"/> Detailed Elevations | <input checked="" type="checkbox"/> Landscape Plan (See Technical Requirements applicable to all landscape plans of form CP-6730) |
| <input checked="" type="checkbox"/> Roof Plan | |

2. APPLICANT INFORMATION

Applicant Name CANE CORSO LLC
 Address 337 S ROBERTSON BLVD Unit/Space Number 201
 City BH State CA Zip 90211
 Telephone (818) 640-3863 E-mail MICHAEL@THENIKGRPOUP.COM

3. CASE INFORMATION

Administrative Clearance Case Number	Tract/Parcel Map Case Number	Additional Case Number (If applicable)
<u>RD2-1</u>		<u>Low Medium II Residential</u>
Existing Zone	Proposed Zone (If Applicable)	General Plan Land Use Designation
<u>SINGLE FAMILY</u>	<u>2 - SINGLE FAMILY RESIDENCE</u>	
Existing Use	Proposed Use	

Small Lot Design Standards Checklist

To be completed by applicant and subsequently verified by Project Planners during project review.

A. BUILDING DESIGN

1. Dwelling Orientation

- a. Small Lot Homes abutting a right-of-way, including a public street, walk street, public stairways ("right-of-way") or private street shall orient the primary entryway ("front door") toward the right-of-way or, where there is a physical site constraint, shall provide a clearly identifiable pedestrian entry to the site from the right-of-way.
- b. Small Lot Homes located in the interior of the subdivision shall orient the primary entryway toward and be visible from a pedestrian pathway that is connected to the right-of-way.
- c. Small Lot Homes that abut an alley shall orient the primary entryway toward the alley or shall be connected to a pedestrian pathway that leads directly to a right-of-way.

2. Primary Entryways

- a. All Small Lot Homes shall have a primary entryway. All primary entryways shall provide the address or unit identification, ornamental low-level lighting to illuminate the entry area, and a landing area.
- b. All primary entryways shall incorporate at least four of the following elements:
 - i. The entryway shall be recessed at least 2 feet from the building façade to create a covered porch or landing area.
 - ii. The doorway shall be recessed at least 3 inches from the building façade.
 - iii. The entryway shall be designed with an overhead projection of at least 6 inches such as an awning or other architectural design features so as to distinguish the front door from the rest of the building façade, unless prohibited by LAMC Section 12.22 C.20.
 - iv. The entryway shall be clearly marked with a side lite window panel, adjacent window, or a door with a window.
 - v. The entryway shall be raised or sunken at least one stair step from the pedestrian pathway.
 - vi. The entryway landing area shall be enhanced with unique paving material, texture, pattern, or color that is differentiated from the pedestrian pathway.

3. Primary Entryways Between Small Lot Homes

- a. Small Lot Homes shall provide at least an 8-foot separation between the face of a primary entryway of a Small Lot Home and the adjacent building wall of a neighboring Small Lot Home. The separation may include projections as listed in 2.b.iii above, but be clear to sky for a minimum of 7 feet. The separation shall be measured along the portion of the pedestrian pathway that provides access to the entryway.

	Yes	No	N/A	Plan Sheet	Administrative Use Only
a. Small Lot Homes abutting a right-of-way, including a public street, walk street, public stairways ("right-of-way") or private street shall orient the primary entryway ("front door") toward the right-of-way or, where there is a physical site constraint, shall provide a clearly identifiable pedestrian entry to the site from the right-of-way.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-3	<input type="checkbox"/>
b. Small Lot Homes located in the interior of the subdivision shall orient the primary entryway toward and be visible from a pedestrian pathway that is connected to the right-of-way.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-3	<input type="checkbox"/>
c. Small Lot Homes that abut an alley shall orient the primary entryway toward the alley or shall be connected to a pedestrian pathway that leads directly to a right-of-way.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
2. Primary Entryways					
a. All Small Lot Homes shall have a primary entryway. All primary entryways shall provide the address or unit identification, ornamental low-level lighting to illuminate the entry area, and a landing area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-8,9	<input type="checkbox"/>
b. All primary entryways shall incorporate <u>at least four of the following elements</u> :					
i. The entryway shall be recessed at least 2 feet from the building façade to create a covered porch or landing area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-4,5	<input type="checkbox"/>
ii. The doorway shall be recessed at least 3 inches from the building façade.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-4,5	<input type="checkbox"/>
iii. The entryway shall be designed with an overhead projection of at least 6 inches such as an awning or other architectural design features so as to distinguish the front door from the rest of the building façade, unless prohibited by LAMC Section 12.22 C.20.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-4,5	<input type="checkbox"/>
iv. The entryway shall be clearly marked with a side lite window panel, adjacent window, or a door with a window.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-8,9	<input type="checkbox"/>
v. The entryway shall be raised or sunken at least one stair step from the pedestrian pathway.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-8,9	<input type="checkbox"/>
vi. The entryway landing area shall be enhanced with unique paving material, texture, pattern, or color that is differentiated from the pedestrian pathway.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-8,9	<input type="checkbox"/>
3. Primary Entryways Between Small Lot Homes					
a. Small Lot Homes shall provide at least an 8-foot separation between the face of a primary entryway of a Small Lot Home and the adjacent building wall of a neighboring Small Lot Home. The separation may include projections as listed in 2.b.iii above, but be clear to sky for a minimum of 7 feet. The separation shall be measured along the portion of the pedestrian pathway that provides access to the entryway.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-3	<input type="checkbox"/>

4. Façade Articulation

- a. Façades facing a right-of-way, the project perimeter, and all portions of exterior building elevations located greater than 7 feet from an adjacent Small Lot Home, shall be treated with an equal level of detail and articulation, and shall incorporate all of the following façade articulation techniques:
 - i. Change in exterior building materials to include at least two high-quality building façade materials that accentuate or correspond to variations in building massing. Building materials may include, but are not limited to: wood, glass, brick, metal spandrel, cement board siding, or tile.
 - ii. Porticos, awnings, terraces, balconies, eyebrows, or trellises of at least 6 inches in depth that provide variations in the building plane.
 - iii. Window treatments that are extruded or recessed from the building façade a minimum of 3 inches. Windows or doors that are flush with the plane of the building (rather than extruded or recessed at least 3 inches) will not qualify as facade articulation.
 - iv. A break in the façade plane of a minimum of 6 inches in depth that is applied to at least 10 vertical feet of the facade.
 - v. Other additional architectural enhancements to the floor of the primary entrance and below, so as to create a human scale to the building. Examples include handrails, fixed planters, and ornamental details, such as lighting, molding, or tiles.

5. Varied Roofline

- a. For any Small Lot Home façade fronting a right-of-way exceeding two stories in height, the roofline shall be articulated by incorporating two of the following:
 - i. A roof with a slope equal to or greater than 2 inches to 12 inches, including but not limited to a sloped or curved roofline at the top of the dwelling.
 - ii. A flat roof with a minimum of 2 feet vertical height difference for a minimum of 10 horizontal feet along the roofline of each building façade.
 - iii. A break in façade plane of a minimum of 6 inches in depth that is carried up to the roofline.
 - iv. Any form of roofline modulation such as a step back, an outdoor stairwell, or a corner balcony.

6. Roof Decks

- a. All roof decks along the project perimeter and abutting residential uses shall be stepped back a minimum of 5 feet from the roof edge, so that they are oriented away from and screened to prevent direct views of abutting residential neighbors. Roof decks facing a right-of-way are not required to be stepped back.

Yes	No	N/A	Plan Sheet	Administrative Use Only
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-8&9	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-8&9	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-4,5,8	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-8&9	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-5	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-4,5,8	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-4,5,8	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-4,5,8	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-6	<input type="checkbox"/>

7. Building Massing Variation

- a. Small Lot Homes shall be grouped into clusters to avoid long spans of building wall. Clusters of Small Lot Homes shall be no more than six Small Lot Homes in a single continuous row or 180 linear feet, whichever is smaller. Clusters of Small Lot Homes shall be separated with a building gap of a minimum of 6 feet in width, which shall be treated with a combination of landscaping, open space, and common walkways or driveways.
- b. Small Lot Homes in a single row shall provide a lateral shift or break in the façade of a minimum of 6 inches for every three Small Lot Homes or 90 linear feet, whichever is smaller.
- c. Small Lot Homes shall be unique in design so that there is variety between Small Lot Homes within a subdivision. For a Small Lot Subdivision containing more than six Small Lot Homes in a single row, there shall be at least two variations in building design, such as changes in dwelling orientation, primary entryways, fenestration pattern, façade articulation, or varied roofline as prescribed in Subsections 1-5. For a Small Lot Subdivision of 20 or more Small Lot Homes, there shall be at least three variations in building design as stated above.

B. PEDESTRIAN CONNECTIVITY AND ACCESS

1. Pedestrian Pathways

- a. Pedestrian pathways of a minimum width of 3 feet shall be provided from the right of-way to all primary entryways and common areas, such as common open space areas, guest parking, mailboxes, and centralized trash enclosures.
- b. A pedestrian pathway located within or parallel to a Common Access Driveway shall be constructed and/or treated with a change of materials, finishes, pattern, or paving that distinguishes the pathway from vehicular traffic.
- c. Small Lot Subdivisions of 20 or more Small Lot Homes shall provide pedestrian and bicycle access to surrounding neighborhood rights-of-way.

2. Fences/Walls

- a. Fences or walls abutting the street or common open space areas shall be decorative, including but not limited to latticework, ornamental fences, screen walls, hedges or dense shrubs or trees. Solid masonry walls along the right-of way are not permitted.
- b. Fences or walls abutting the right-of-way and within the yard shall provide a point of entry into each lot abutting the right-of-way.

C. LANDSCAPING

1. Landscaping, Common Open Space Areas and Amenities

- a. All setback and open areas not used for buildings, parking areas, driveway, pedestrian pathways, utilities, and common open space areas shall be attractively landscaped and maintained.

Yes	No	N/A	Plan Sheet	Administrative Use Only
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-3	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A-3	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	W-1	<input type="checkbox"/>

b. Required Common Open Space Areas must:

- i. Be open to the sky and have no structures that project into the common open space area, except as provided in Section 12.22 C.20 (b).
- ii. Be located at grade level, contiguous or connected, and readily accessible to all residents of the site.
- iii. Have a minimum area of 300 sq. ft. with no horizontal dimension less than 15 feet when measured perpendicular from any point on each of the boundaries of the open space area. Driveways, parking spaces, or pedestrian pathways cannot be counted toward the open space requirement.

c. The combination of required Common Open Space Areas shall be multifunctional and designed to accommodate a range of passive, active, or social uses, with enhancements such as landscaping, activity lawns, swimming pools, spas, picnic tables, benches, children's play areas, ball courts, barbecue areas, sitting areas, decorative bike racks, and/or dog washing stations. Common open space areas may include enhanced side yards and rear yards that meet the minimum area and dimension requirement above.

d. All yards of a subdivision abutting the right-of-way shall be improved with landscaping (combination of groundcover, shrubs, and trees) and amenities. Amenities may include: decorative fencing, uncovered patios, enhanced pedestrian pathways, garden walls, seating areas, and/or decorative bike racks.

Yes	No	N/A	Plan Sheet	Administrative Use Only
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>

D. MIXED USE SMALL LOTS

Small Lot Subdivisions may provide Small Lot Homes that contain commercial uses at the ground floor ("Mixed Use Small Lot Homes"). Mixed Use Small Lots must comply with all other applicable regulations governing the site with regards to parking, signage, access, and FAR limitations in the LAMC. The following Design Standards shall be required for any Mixed Use Small Lot Home in addition to the other Design Standards contained in this document.

1. Building Orientation and Entry

- a. Mixed Use Small Lot Homes shall be first located along the perimeter of the subdivision abutting the right-of-way.
- b. A Mixed Use Small Lot Home shall provide a separate ground floor entrance to the commercial use, or an identifiable lobby that serves both the residential and commercial uses. The commercial entrance shall be directly accessible from the right-of-way and open during the normal business hours posted by the business.

2. Building Design

- a. A Mixed Use Small Lot Home shall be designed with an identifiable ground floor commercial component.
- b. Store entrances shall be recessed, not flush, with the edge of the building facade to articulate the storefront and provide shelter for persons entering and exiting.
- c. The ground floor commercial use shall be visually separated from upper residential floors, with a façade treatment such as an awning, framing, setback, or overhang of at least 18 inches in depth, so as to distinguish the commercial base of the building.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>

- d. The storefront of a ground floor non-residential use that fronts a right-of-way shall consist of at least fifty percent transparent windows and doors, unless otherwise prohibited by other sections of the L.A.M.C.
- e. Signage for the ground floor commercial use shall be located at or adjacent to the ground level, and be located no higher than 14 feet.

Yes	No	N/A	Plan Sheet	Administrative Use Only
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>

E. BUNGALOW COURTS AND EXISTING STRUCTURE SMALL LOTS

Existing bungalow courts and detached single, duplex, or triplex dwelling structures may be subdivided in accordance with the 2018 Small Lot Code Amendment. The conversion of an existing "Bungalow Court or Existing Structure" to a Small Lot Subdivision shall only be required to comply with the following Design Standards.

1. Common Access Driveway

- a. Existing Common Access Driveways, pedestrian pathways, and central common open space areas shall be maintained and not reduced in size.

2. Pedestrian Pathway

- a. Pedestrian pathways of a minimum width of 3 feet shall be provided from the public rights-of-way to all primary entryways and common areas, such as centralized trash enclosures, guest parking, and open space easements. If narrower pathways exist, they may be maintained in the same footprint and area and shall not be further reduced in width.

3. Existing Structures

- a. New dwelling construction or additions to a designated or identified historic structure shall be in conformance with the Secretary of the Interior's Standards for Rehabilitation.

4. New Dwellings

- a. All new dwellings proposed in addition to a Bungalow Court or Existing Structure Small Lot project shall also meet the applicable design standards in sections A, B, and C of the Small Lot Design Standards. 5. Landscaping All open areas not used for buildings, parking areas, driveway, pedestrian pathways, utilities, or amenity areas shall be attractively landscaped and maintained.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	<input type="checkbox"/>

Additional Design Details

The following section shall be completed by Project Planning staff after the review and approval of submitted plans:

8. ADMINISTRATIVE CLEARANCE APPROVAL

Planning Signature <i>Rafael F. Fuentes</i>	Phone Number <i>(213) 978-1189</i>
Print Name <i>Rafael F. Fuentes</i>	Date <i>07-26-2021</i>

INSTRUCTIONS: Administrative Clearance – SLD

1. **Submittal** - Applicants are required to submit a completed Administrative Clearance Application, including the project summary and checklist, at the time of Administrative Clearance filing.
2. **Review Materials** - Review of the application by an assigned project planner will verify if the project meets the requirements of the Small Lot Design Standards.
3. **Timing of Review** - The Administrative Clearance shall be completed prior to the scheduling of any required hearing for a proposed small lot subdivision map. In cases where a hearing has been waived, this review shall be completed prior to the issuance of the subdivision determination.
4. **Relief** - The Administrative Clearance does not provide any relief mechanisms for project applicants. Applicants are required to demonstrate compliance with all applicable design standards.
5. **Appeal Rights** - The Administrative Clearance process is non-appealable.
6. **Conditions of Approval** - As a condition of approval, all small lot subdivisions, including Vesting Tentative Tract Maps and Preliminary Parcel Maps, shall be required to conform to the plans approved during the Administrative Clearance review process. These plans shall be stamped Exhibit A and included in the related subdivision map case file.
7. **Building Permit Clearance** - Following the entitlement approval of a small lot subdivision map, subsequent building permit applications for the new construction of said map's small lot homes shall be in substantial conformance with the most recently approved set of plans.
8. **Other Applicable Approvals** - Applicants are strongly advised to consult with the Los Angeles Department of Building and Safety (LADBS) to ascertain if there are any other issues or necessary approvals associated with the project/site which should be resolved prior to filing. The design of the proposed project may require alterations in order to comply with the Los Angeles Municipal Code.
9. **Modifications to Projects Deemed Complete after April 18, 2018** - If a project's architectural plans are modified subsequent to the initial approval of the project and determined by the Department of City Planning to no longer be in substantial compliance with Exhibit A, the applicant shall file a new application for Administrative Clearance and pay all applicable fees.
10. **Exceptions** - The following projects are not required to file an Administrative Clearance pursuant to L.A.M.C. Section 12.22 C.27(c):
 - a. Any small lot subdivision entitlement application filed, accepted and deemed complete prior to April 18, 2018, as determined by the Department of City Planning.
 - b. Any project for which the City has approved a small lot subdivision discretionary land use entitlement as of April 18, 2018, but that has not yet submitted plans and appropriate fees to the Department of Building and Safety for plan check, as determined by the Department of City Planning.

City of Los Angeles Department of City Planning website: <http://planning.lacity.org>